

LEGEND

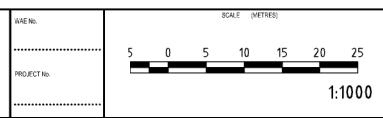
- STAGE BOUNDARY
- DRIVEWAY
- INDICATIVE MU SITE DRIVEWAY
- AF** SECTION IDENTIFIER
- a** BLOCK IDENTIFIER
- 594m² BLOCK AREA
- 15.416 BLOCK DIMENSIONS
- INDICATIVE TREE LOCATIONS
- COMBINED SERVICE EASEMENT 3.5m WIDE
- *** PROVIDE ALL VISITOR PARKING REQUIREMENTS AS DETERMINED BY THE PARKING AND VEHICULAR ACCESS GENERAL CODE WITHIN THE BLOCK
- #** BLOCKS POSSIBLY AFFECTED BY EXTERNAL NOISE
- FRONT BOUNDARIES TO OPEN SPACE MUST PROVIDE ONE (1) GATE ACCESS
- +** BLOCK 500m²-549m². R21 OF THE SINGLE DWELLING HOUSING DEVELOPMENT CODE APPLIES
- MINIMUM 1m GARAGE SETBACK
- BLOCK REQUIRES UTILITY MAINTENANCE ACCESS EASEMENT. MAINTENANCE AND EMERGENCY ACCESS ROUTES ARE REQUIRED WHERE SEWERAGE MAINS ARE LOCATED ON LEASED LAND AND BUYERS MUST COMPLY WITH THE REQUIREMENTS OF UTILITY PROVIDERS LAW. CONTACT ICON WATER ON (02) 662483111 OR talktous@iconwater.com.au FOR FURTHER INFORMATION.

NOTES:

- PLAN SUBJECT TO SURVEY- FINAL DIMENSIONS AREAS & BLOCK NUMBERS TO BE OBTAINED FROM DEPOSITED PLANS AND DISTANCES ARE IN METRES.
- CONTOUR INTERVAL IS 1.0m. CONTOURS REPRESENT PRELIMINARY DESIGN CONTOURS AND MAY BE SUBJECT TO CHANGE. LEVELS SHOULD BE VERIFIED BY LESSEES.
- POSITION OF HYDRAULIC & ELECTRICAL SERVICES TO BE CONFIRMED BY ENGINEERING PLANS.

REV	ISSUE	DATE	BY	CHKD	APPROVED	DATE
A	FR	29/11/16	NPB	NPB	16/09/16	
B	FR		NPB	NPB		
C	FR		NPB	NPB		
D	FR		NPB	NPB		
E	FR		NPB	NPB		
F	FR		NPB	NPB		
G	FR		NPB	NPB		
H	FR		NPB	NPB		
I	FR		NPB	NPB		
J	FR		NPB	NPB		
K	FR		NPB	NPB		
L	FR		NPB	NPB		
M	FR		NPB	NPB		
N	FR		NPB	NPB		
O	FR		NPB	NPB		
P	FR		NPB	NPB		
Q	FR		NPB	NPB		
R	FR		NPB	NPB		
S	FR		NPB	NPB		

WAVE No.	PROJECT No.



CLIENT: CAPITAL ESTATE DEVELOPMENTS Denman Prospect

PROJECT: DENMAN PROSPECT STAGE 2A

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DRAWING TITLE: BLOCK DETAILS PLAN SHEET 1 OF 8

DRAWING NUMBER: 15-003035.2-BP01+

AMEND: A



LEGEND

STAGE BOUNDARY

DRIVEWAY

INDICATIVE MU SITE DRIVEWAY

AF SECTION IDENTIFIER

a BLOCK IDENTIFIER

594m² BLOCK AREA

15.416 BLOCK DIMENSIONS



INDICATIVE TREE LOCATIONS



COMBINED SERVICE EASEMENT 3.5m WIDE



PROVIDE ALL VISITOR PARKING REQUIREMENTS AS DETERMINED BY THE PARKING AND VEHICULAR ACCESS GENERAL CODE WITHIN THE BLOCK



BLOCKS POSSIBLY AFFECTED BY EXTERNAL NOISE



FRONT BOUNDARIES TO OPEN SPACE MUST PROVIDE ONE (1) GATE ACCESS



BLOCK 500m²-549m². R21 OF THE SINGLE DWELLING HOUSING DEVELOPMENT CODE APPLIES



MINIMUM 1m GARAGE SETBACK



MINIMUM 1.5m GARAGE SETBACK



MANDATORY SIDE BOUNDARY 2



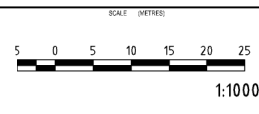
BLOCK REQUIRES UTILITY MAINTENANCE ACCESS EASEMENT. MAINTENANCE AND EMERGENCY ACCESS ROUTES ARE REQUIRED WHERE SEWERAGE MAINS ARE LOCATED ON LEASED LAND AND BUYERS MUST COMPLY WITH THE REQUIREMENTS OF UTILITY PROVIDERS LAW. CONTACT ICON WATER ON (02) 662483111 OR talktous@iconwater.com.au FOR FURTHER INFORMATION.

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DATE	ISSUE	BY	FOR	APPROVED	DATE	AMENDMENT DETAILS
16/09/16	HA	DC	NPB	NPB	16/09/16	TREES UPDATED
29/11/16	FR	EH	NPB	NPB	29/11/16	TREES UPDATED

DATE:	SCALE:
PROJECT:	1:1000



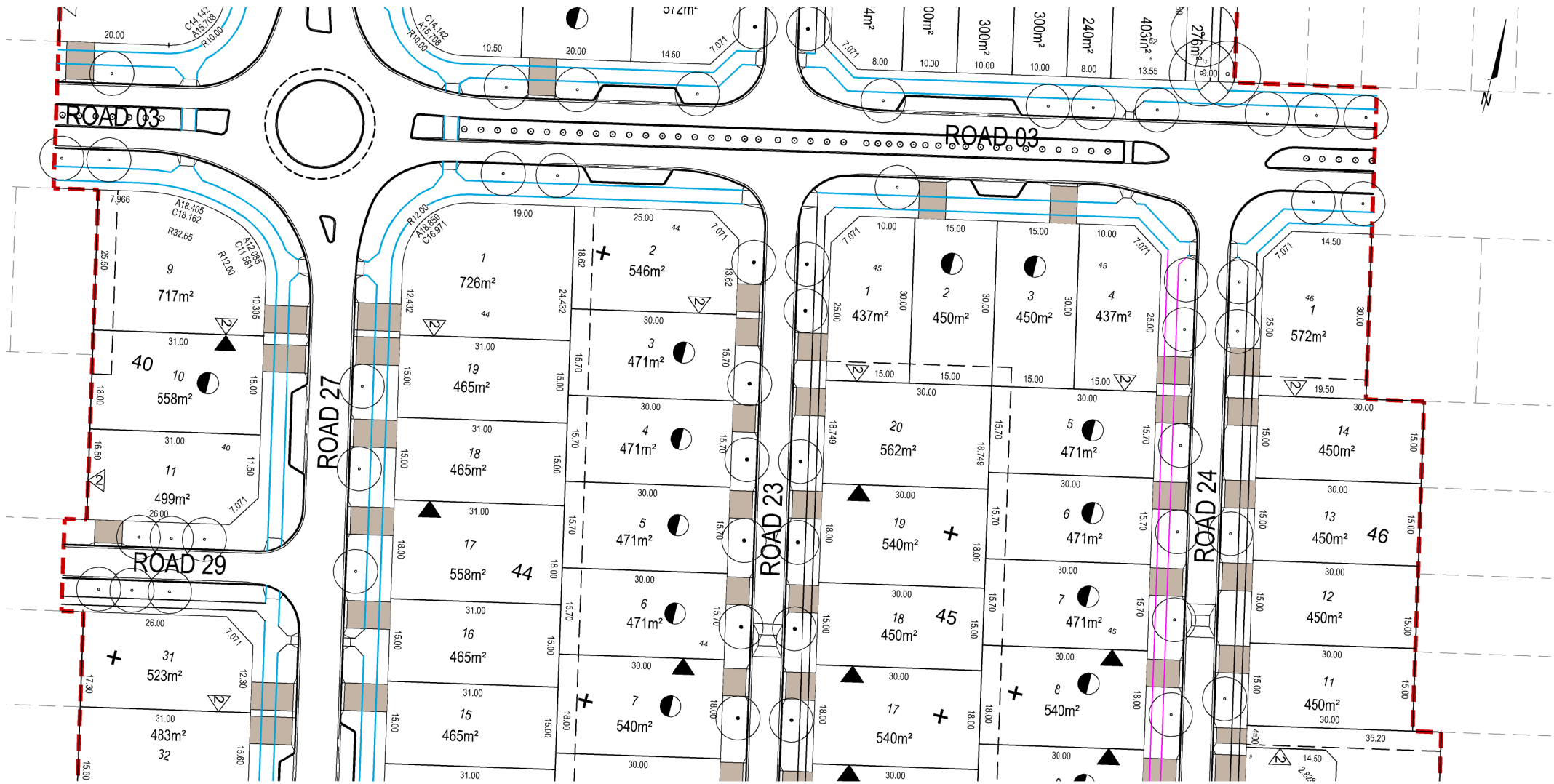
CLIENT: **CAPITAL ESTATE DEVELOPMENTS** Denman Prospect

PROJECT: DENMAN PROSPECT STAGE 2A

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DRAWING TITLE	
BLOCK DETAILS PLAN SHEET 2	
DRAWING NUMBER	AMEND
15-003035.2-BP02+	A



LEGEND

- STAGE BOUNDARY
- DRIVEWAY
- INDICATIVE MU SITE DRIVEWAY
- AF** SECTION IDENTIFIER
- a** BLOCK IDENTIFIER
- 594m² BLOCK AREA
- 15.416 BLOCK DIMENSIONS
- INDICATIVE TREE LOCATIONS
- COMBINED SERVICE EASEMENT 3.5m WIDE
- *** PROVIDE ALL VISITOR PARKING REQUIREMENTS AS DETERMINED BY THE PARKING AND VEHICULAR ACCESS GENERAL CODE WITHIN THE BLOCK
- #** BLOCKS POSSIBLY AFFECTED BY EXTERNAL NOISE
- FRONT BOUNDARIES TO OPEN SPACE MUST PROVIDE ONE (1) GATE ACCESS
- +** BLOCK 500m²-549m². R21 OF THE SINGLE DWELLING HOUSING DEVELOPMENT CODE APPLIES
- MINIMUM 1m GARAGE SETBACK
- MANDATORY SIDE BOUNDARY 2
- BLOCK REQUIRES UTILITY MAINTENANCE ACCESS EASEMENT. MAINTENANCE AND EMERGENCY ACCESS ROUTES ARE REQUIRED WHERE SEWERAGE MAINS ARE LOCATED ON LEASED LAND AND BUYERS MUST COMPLY WITH THE REQUIREMENTS OF UTILITY PROVIDERS LAW. CONTACT ICON WATER ON (02) 662483111 OR talktous@iconwater.com.au FOR FURTHER INFORMATION.

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ISSUE	REVISION	DATE	BY	APPROVED	DATE
A	FR	29/11/18	NPB	NPB	16/09/18
S	FR	29/11/18	NPB	NPB	16/09/18

DATE	BY	APPROVED	DATE
29/11/18	NPB	NPB	16/09/18

SCALE (METRES)

1:1000

CAPITAL ESTATE DEVELOPMENTS

Denman Prospect

PROJECT: DENMAN PROSPECT STAGE 2A

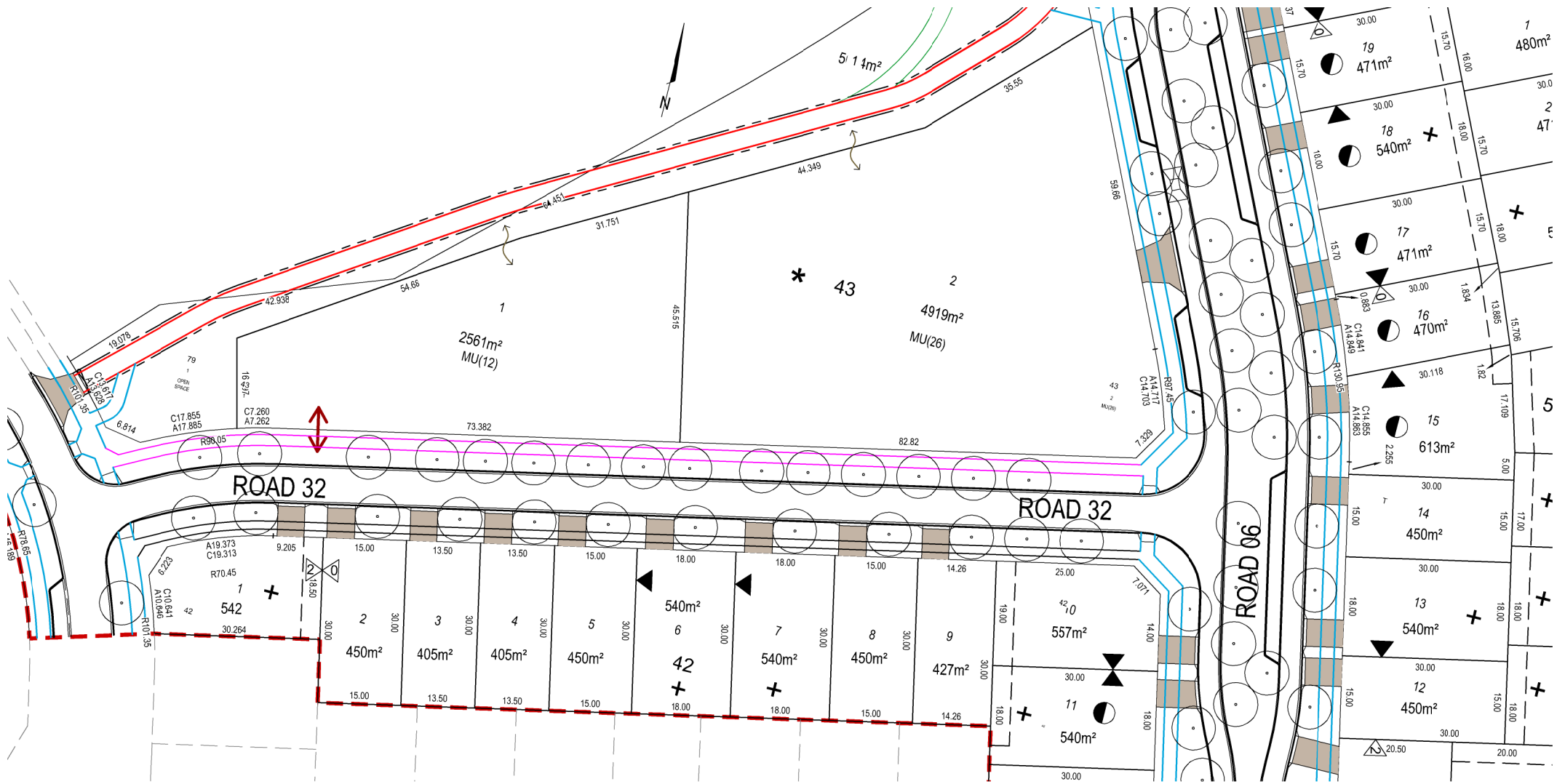
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DRAWING TITLE: BLOCK DETAILS PLAN SHEET 3

DRAWING NUMBER: 15-003035.2-BP03+

AMEND: A



LEGEND

STAGE BOUNDARY

DRIVEWAY

INDICATIVE MU SITE DRIVEWAY

AF SECTION IDENTIFIER

a BLOCK IDENTIFIER

594m² BLOCK AREA

15.416 BLOCK DIMENSIONS



INDICATIVE TREE LOCATIONS



COMBINED SERVICE EASEMENT 3.5m WIDE

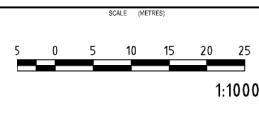


NOTES:

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FIRST ISSUE	REVISION	DRAWN	CHECKED	APPROVED	DATE	AMENDMENT DETAILS
A	1	HA	DC	NPB	16/09/16	
A	2	FR	EH	NPB	29/11/16	TREES UPDATED

DATE:	
PROJECT:	



CLIENT: **CAPITAL ESTATE DEVELOPMENTS** Denman Prospect

PROJECT: DENMAN PROSPECT STAGE 2A

DRAWING TITLE: **BLOCK DETAILS PLAN SHEET 4**

DRAWING NUMBER: 15-003035.2-BP04+

AMEND: A



LEGEND

- STAGE BOUNDARY
- DRIVEWAY
- INDICATIVE MU SITE DRIVEWAY
- AF** SECTION IDENTIFIER
- a** BLOCK IDENTIFIER
- 594m² BLOCK AREA
- 15.416 BLOCK DIMENSIONS
- INDICATIVE TREE LOCATIONS
- COMBINED SERVICE EASEMENT 3.5m WIDE
- *** PROVIDE ALL VISITOR PARKING REQUIREMENTS AS DETERMINED BY THE PARKING AND VEHICULAR ACCESS GENERAL CODE WITHIN THE BLOCK
- #** BLOCKS POSSIBLY AFFECTED BY EXTERNAL NOISE
- FRONT BOUNDARIES TO OPEN SPACE MUST PROVIDE ONE (1) GATE ACCESS
- +** BLOCK 500m²-549m². R21 OF THE SINGLE DWELLING HOUSING DEVELOPMENT CODE APPLIES
- MINIMUM 0m GARAGE SETBACK
- MINIMUM 1.5m GARAGE SETBACK
- MANDATORY SIDE BOUNDARY 2
- SURVEILLANCE UNITS
- BLOCK REQUIRES UTILITY MAINTENANCE ACCESS EASEMENT. MAINTENANCE AND EMERGENCY ACCESS ROUTES ARE REQUIRED WHERE SEWERAGE MAINS ARE LOCATED ON LEASED LAND AND BUYERS MUST COMPLY WITH THE REQUIREMENTS OF UTILITY PROVIDERS LAW. CONTACT ICON WATER ON (02) 662483111 OR talktous@iconwater.com.au FOR FURTHER INFORMATION.

NOTES:

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REV	DATE	BY	CHKD	APPROVED	DATE	DESCRIPTION
1	29/11/16	FR	EH	NPB	NPB	TREES UPDATED

AMENDMENT DETAILS

SCALE (METRES)

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CAPITAL ESTATE DEVELOPMENTS

Denman Prospect

PROJECT: DENMAN PROSPECT STAGE 2A

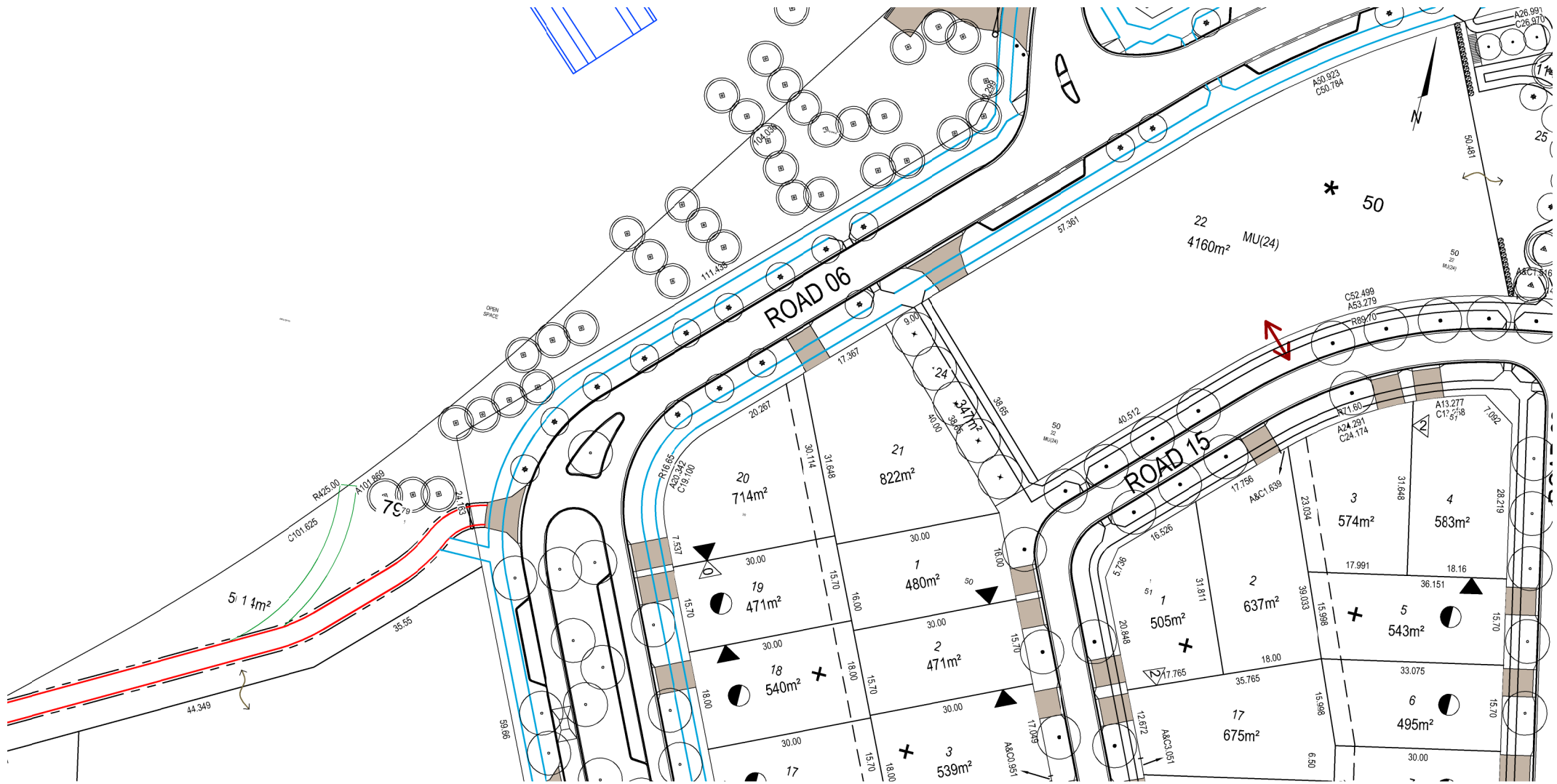
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DRAWING TITLE: BLOCK DETAILS PLAN SHEET 5

DRAWING NUMBER: 15-003035.2-BP05+

AMEND: A



LEGEND

STAGE BOUNDARY

DRIVEWAY

INDICATIVE MU SITE DRIVEWAY

AF SECTION IDENTIFIER

a BLOCK IDENTIFIER

594m² BLOCK AREA

15.416 BLOCK DIMENSIONS



INDICATIVE TREE LOCATIONS



COMBINED SERVICE EASEMENT 3.5m WIDE



PROVIDE ALL VISITOR PARKING REQUIREMENTS AS DETERMINED BY THE PARKING AND VEHICULAR ACCESS GENERAL CODE WITHIN THE BLOCK



BLOCKS POSSIBLY AFFECTED BY EXTERNAL NOISE



FRONT BOUNDARIES TO OPEN SPACE MUST PROVIDE ONE (1) GATE ACCESS



BLOCK 500m²-549m². R21 OF THE SINGLE DWELLING HOUSING DEVELOPMENT CODE APPLIES



MINIMUM 0m GARAGE SETBACK



MINIMUM 1m GARAGE SETBACK



MANDATORY SIDE BOUNDARY 2



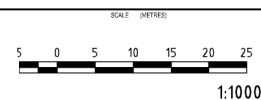
BLOCK REQUIRES UTILITY MAINTENANCE ACCESS EASEMENT. MAINTENANCE AND EMERGENCY ACCESS ROUTES ARE REQUIRED WHERE SEWERAGE MAINS ARE LOCATED ON LEASED LAND AND BUYERS MUST COMPLY WITH THE REQUIREMENTS OF UTILITY PROVIDERS LAW. CONTACT ICON WATER ON (02) 662483111 OR talktous@iconwater.com.au FOR FURTHER INFORMATION.

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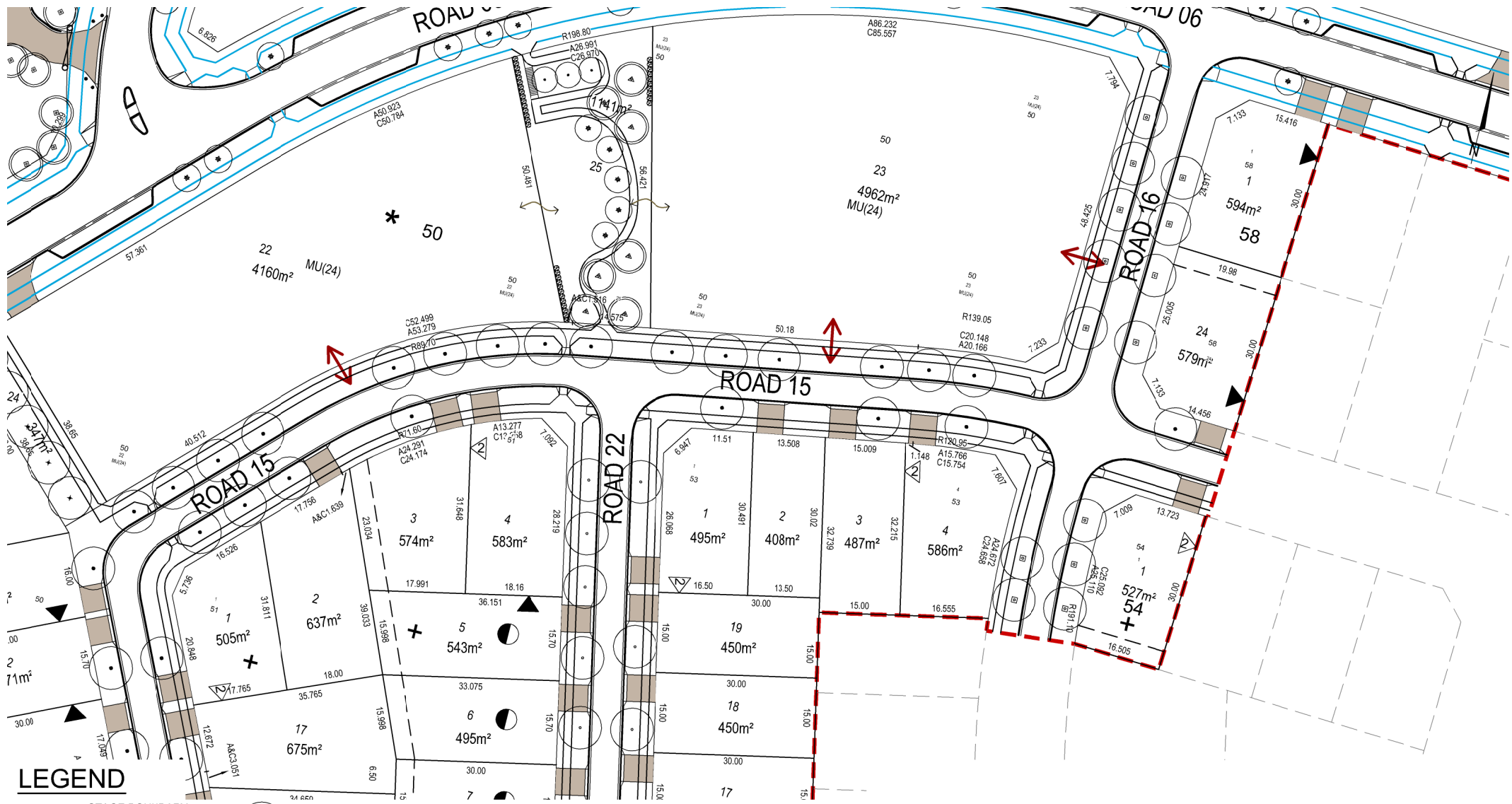
FIRST ISSUE	DESIGN	DRAWN	CHECK	APPROVED	DATE	AMENDMENT DETAILS
A	FR	EH	NPB	NPB	29/11/16	TREES UPDATED

DATE:	
PROJECT:	



CLIENT:	Denman Prospect
PROJECT:	DENMAN PROSPECT STAGE 2A

	DRAWING TITLE
	BLOCK DETAILS PLAN SHEET 6
DRAWING NUMBER	AMEND
15-003035.2-BP06+	A



LEGEND

- STAGE BOUNDARY
- DRIVEWAY
- INDICATIVE MU SITE DRIVEWAY
- AF** SECTION IDENTIFIER
- a** BLOCK IDENTIFIER
- 594m² BLOCK AREA
- 15.416 BLOCK DIMENSIONS
- INDICATIVE TREE LOCATIONS
- COMBINED SERVICE EASEMENT 3.5m WIDE
- *** PROVIDE ALL VISITOR PARKING REQUIREMENTS AS DETERMINED BY THE PARKING AND VEHICULAR ACCESS GENERAL CODE WITHIN THE BLOCK
- #** BLOCKS POSSIBLY AFFECTED BY EXTERNAL NOISE
- FRONT BOUNDARIES TO OPEN SPACE MUST PROVIDE ONE (1) GATE ACCESS
- MINIMUM 1m GARAGE SETBACK
- MANDATORY SIDE BOUNDARY 2
- BLOCK REQUIRES UTILITY MAINTENANCE ACCESS EASEMENT. MAINTENANCE AND EMERGENCY ACCESS ROUTES ARE REQUIRED WHERE SEWERAGE MAINS ARE LOCATED ON LEASED LAND AND BUYERS MUST COMPLY WITH THE REQUIREMENTS OF UTILITY PROVIDERS LAW. CONTACT ICON WATER ON (02) 662483111 OR talktous@iconwater.com.au FOR FURTHER INFORMATION. BLOCK 500m²-549m². R21 OF THE SINGLE DWELLING HOUSING DEVELOPMENT CODE APPLIES
- +**

NOTES:

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FIRST ISSUE	DESIGN	DRAWN	CHECK	APPROVED	DATE	AMENDMENT DETAILS
HA	DC	NPB	NPB	NPB	16/09/16	
FR	EH	NPB	NPB	NPB	29/11/16	TREES UPDATED

SCALE (METRES)

1:1000

CAPITAL ESTATE DEVELOPMENTS

Denman Prospect

PROJECT: DENMAN PROSPECT STAGE 2A

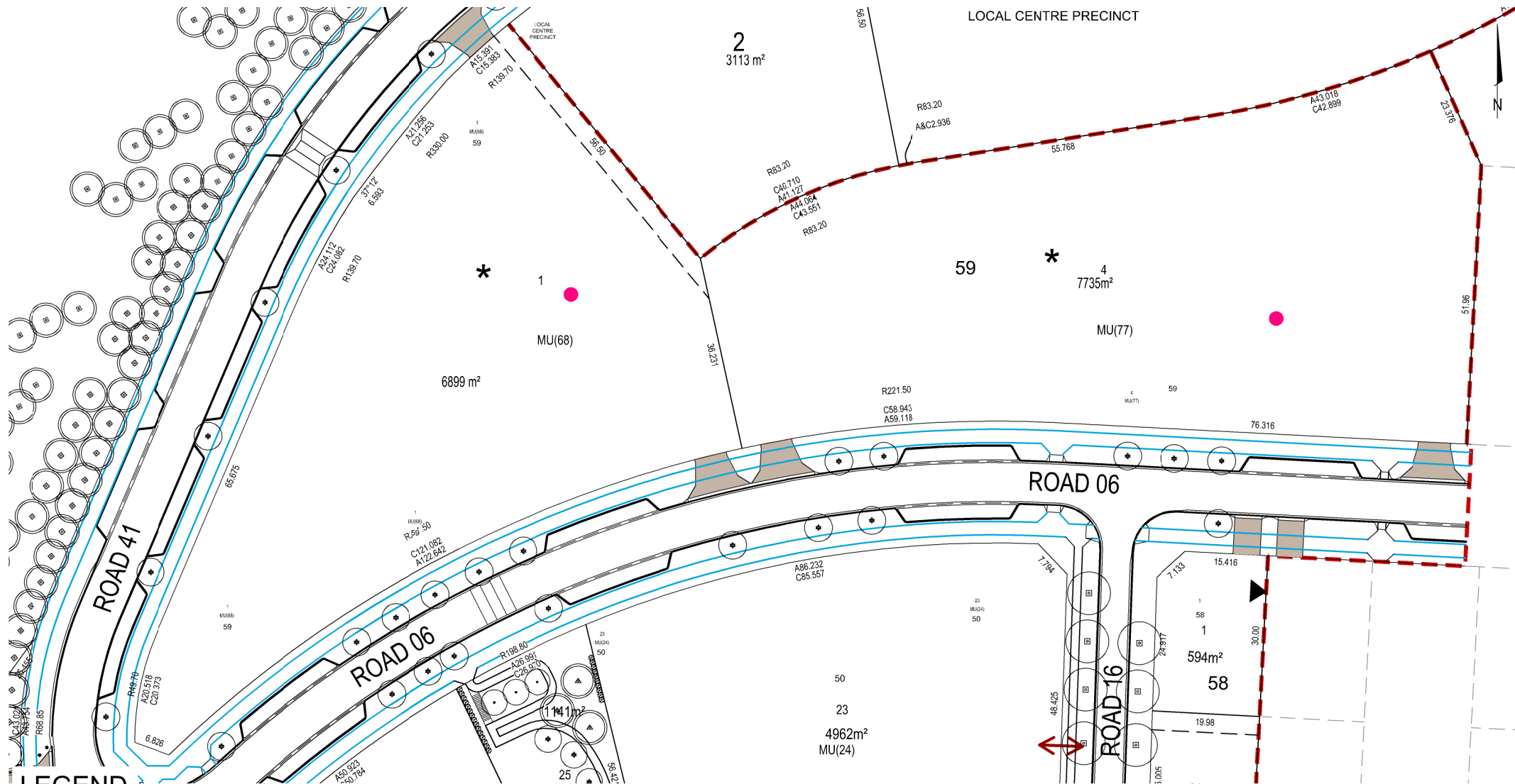
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DRAWING TITLE: BLOCK DETAILS PLAN SHEET 7

DRAWING NUMBER: 15-003035.2-BP07+

AMEND: A



LEGEND

- STAGE BOUNDARY
- DRIVEWAY
- INDICATIVE MU SITE DRIVEWAY
- AF** SECTION IDENTIFIER
- a** BLOCK IDENTIFIER
- 594m² BLOCK AREA
- 15.416 BLOCK DIMENSIONS
- INDICATIVE TREE LOCATIONS
- COMBINED SERVICE EASEMENT 3.5m WIDE
- *** PROVIDE ALL VISITOR PARKING REQUIREMENTS AS DETERMINED BY THE PARKING AND VEHICULAR ACCESS GENERAL CODE WITHIN THE BLOCK
- #** BLOCKS POSSIBLY AFFECTED BY EXTERNAL NOISE
- FRONT BOUNDARIES TO OPEN SPACE MUST PROVIDE ONE (1) GATE ACCESS
- +** BLOCK 500m²-549m². R21 OF THE SINGLE DWELLING HOUSING DEVELOPMENT CODE APPLIES
- MINIMUM 1m GARAGE SETBACK
- BAL 12.5 / BAL 29 BUILDINGS LOCATED IN A DESIGNATED BUSHFIRE PRONE AREA ARE TO BE CONSTRUCTED IN ACCORDANCE WITH AS 3959-2009 (NATIONAL CONSTRUCTION CODE VOLUME 2, 3.7.4 BUSHFIRE AREAS)

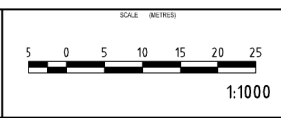
NOTES:

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FIRST ISSUE	REVISION	DATE	DESCRIPTION
A	1	29/11/18	TREES UPDATED

DATE	DESCRIPTION
16/09/18	

DATE:	
PROJECT:	



CLIENT: **CAPITAL ESTATE DEVELOPMENTS** Denman Prospect

PROJECT: DENMAN PROSPECT STAGE 2A

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DRAWING TITLE	
BLOCK DETAILS PLAN SHEET 8	
DRAWING NUMBER	ISSUE
15-003035.2-BP08+	A