

### LEGEND

STAGE BOUNDARY

DRIVEWAY

INDICATIVE MU SITE DRIVEWAY

**AF** SECTION IDENTIFIER

**a** BLOCK IDENTIFIER

594m<sup>2</sup> BLOCK AREA

15.416 BLOCK DIMENSIONS



INDICATIVE TREE LOCATIONS



COMBINED SERVICE EASEMENT 3.5m WIDE



PROVIDE ALL VISITOR PARKING REQUIREMENTS AS DETERMINED BY THE PARKING AND VEHICULAR ACCESS GENERAL CODE WITHIN THE BLOCK



BLOCKS POSSIBLY AFFECTED BY EXTERNAL NOISE



FRONT BOUNDARIES TO OPEN SPACE MUST PROVIDE ONE (1) GATE ACCESS



BLOCK 500m<sup>2</sup>-549m<sup>2</sup>. R21 OF THE SINGLE DWELLING HOUSING DEVELOPMENT CODE APPLIES



MINIMUM 0m GARAGE SETBACK



MINIMUM 1m GARAGE SETBACK



MINIMUM 1.5m GARAGE SETBACK



MANDATORY SIDE BOUNDARY 2



BLOCK REQUIRES UTILITY MAINTENANCE ACCESS EASEMENT. MAINTENANCE AND EMERGENCY ACCESS ROUTES ARE REQUIRED WHERE SEWERAGE MAINS ARE LOCATED ON LEASED LAND AND BUYERS MUST COMPLY WITH THE REQUIREMENTS OF UTILITY PROVIDERS LAW. CONTACT ICON WATER ON (02) 662483111 OR [talktous@iconwater.com.au](mailto:talktous@iconwater.com.au) FOR FURTHER INFORMATION.



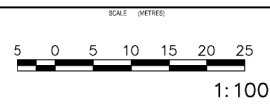
SUBSTATION LOCATION

### NOTES:

- PLAN SUBJECT TO SURVEY- FINAL DIMENSIONS AREAS & BLOCK NUMBERS TO BE OBTAINED FROM DEPOSITED PLANS AND DISTANCES ARE IN METRES.
- CONTOUR INTERVAL IS 1.0m. CONTOURS REPRESENT PRELIMINARY DESIGN CONTOURS AND MAY BE SUBJECT TO CHANGE. LEVELS SHOULD BE VERIFIED BY LESSEES.
- POSITION OF HYDRAULIC & ELECTRICAL SERVICES TO BE CONFIRMED BY ENGINEERING PLANS.

FIRST ISSUE	DESIGN	CHECK	APPROVE	DATE	AMENDMENT DETAILS
A	HA	DC	NPB	15/02/16	
B	FR	DC	NPB	09/08/17	PLANNING CONTROLS UPDATED
C	NPB	DC	NPB	23/08/17	SUBSTATION LOCATION ADDED
D	NPB	DC	NPB	26/02/18	BLOCK & SECTION NUMBERS UPDATED

WAVE NO:	
PROJECT NO:	



CLIENT: **CAPITAL ESTATE DEVELOPMENTS** Denman Prospect

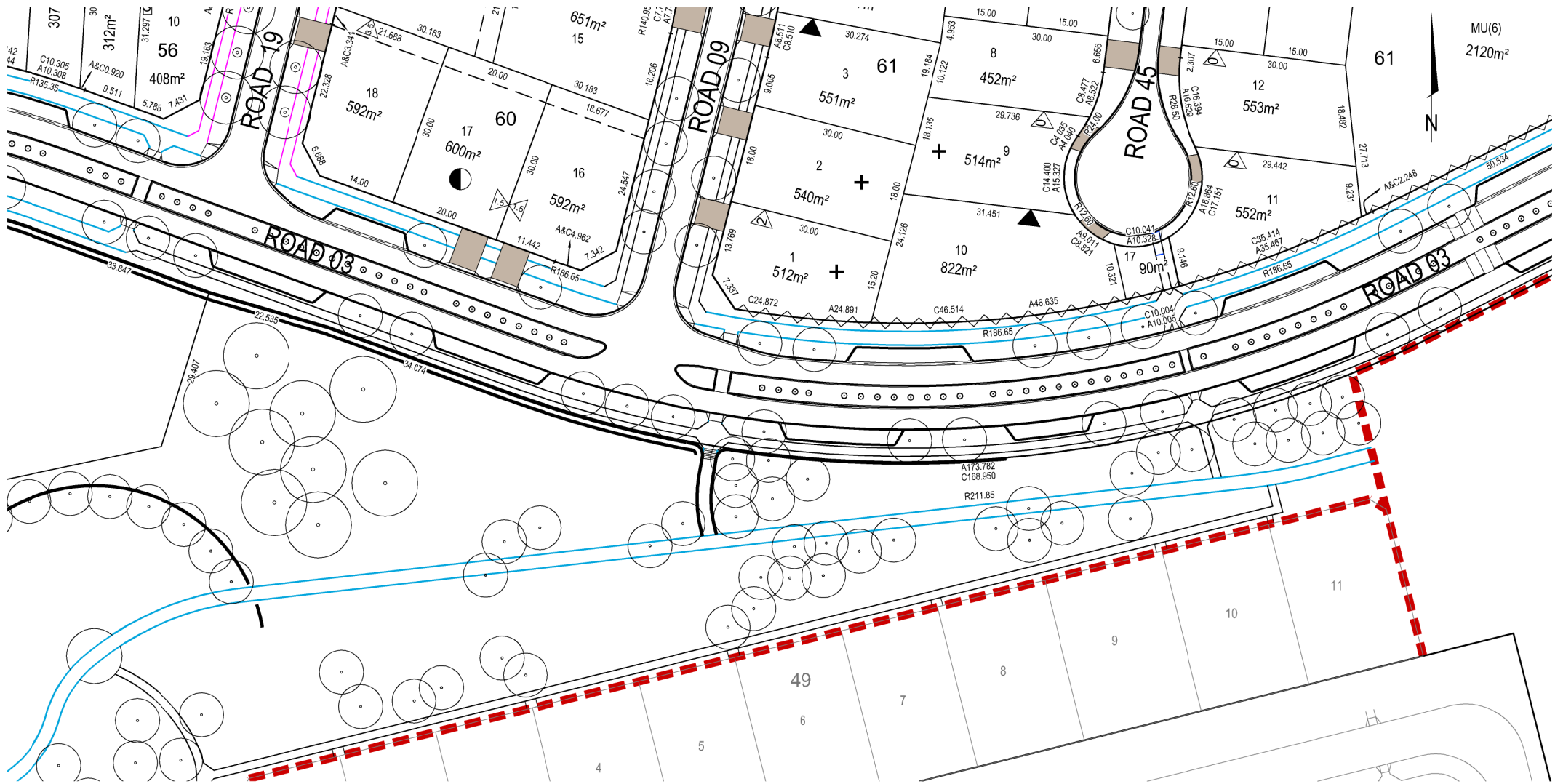
PROJECT: DENMAN PROSPECT STAGE 23

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DRAWING TITLE: **BLOCK DETAILS PLAN SHEET 1 OF 9**

DRAWING NUMBER: 15-003035.3-BP01+

AMEND: C



**LEGEND**

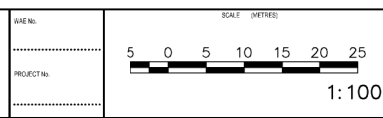
- STAGE BOUNDARY
- DRIVEWAY
- INDICATIVE MU SITE DRIVEWAY
- AF** SECTION IDENTIFIER
- a** BLOCK IDENTIFIER
- 594m<sup>2</sup>** BLOCK AREA
- 15.416** BLOCK DIMENSIONS
- INDICATIVE TREE LOCATIONS
- COMBINED SERVICE EASEMENT 3.5m WIDE
- \*** PROVIDE ALL VISITOR PARKING REQUIREMENTS AS DETERMINED BY THE PARKING AND VEHICULAR ACCESS GENERAL CODE WITHIN THE BLOCK
- #** BLOCKS POSSIBLY AFFECTED BY EXTERNAL NOISE
- FRONT BOUNDARIES TO OPEN SPACE MUST PROVIDE ONE (1) GATE ACCESS
- +** BLOCK 500m<sup>2</sup>-549m<sup>2</sup>. R21 OF THE SINGLE DWELLING HOUSING DEVELOPMENT CODE APPLIES
- MINIMUM 0m GARAGE SETBACK
- MINIMUM 1m GARAGE SETBACK
- MINIMUM 1.5m GARAGE SETBACK
- MANDATORY SIDE BOUNDARY 2
- NO VEHICLE ACCESS PERMITTED

**NOTES:**

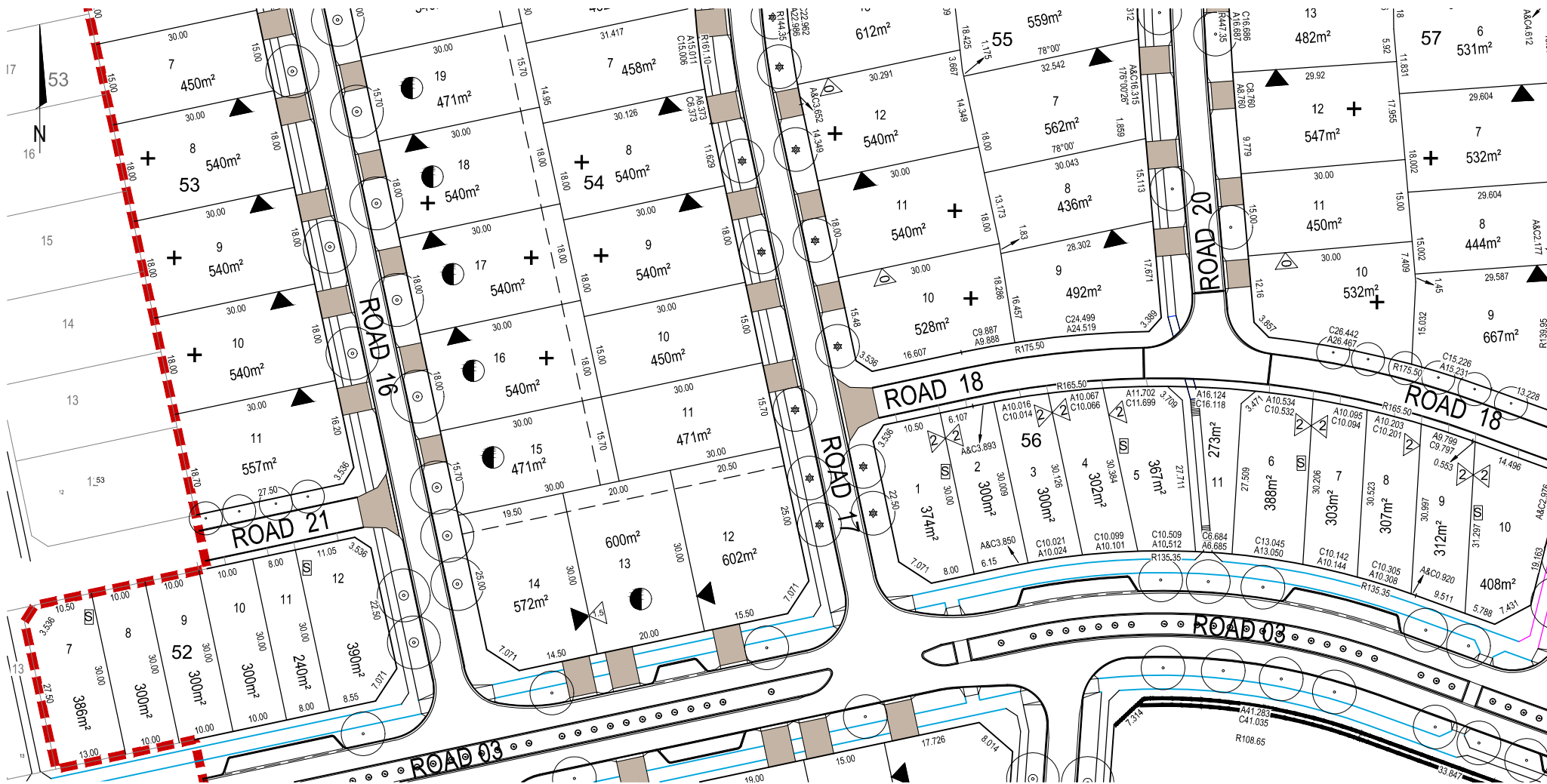
- PLAN SUBJECT TO SURVEY- FINAL DIMENSIONS AREAS & BLOCK NUMBERS TO BE OBTAINED FROM DEPOSITED PLANS AND DISTANCES ARE IN METRES.
- CONTOUR INTERVAL IS 1.0m. CONTOURS REPRESENT PRELIMINARY DESIGN CONTOURS AND MAY BE SUBJECT TO CHANGE. LEVELS SHOULD BE VERIFIED BY LESSEES.
- POSITION OF HYDRAULIC & ELECTRICAL SERVICES TO BE CONFIRMED BY ENGINEERING PLANS.

REV	ISSUE	DATE	APPROVED	DATE	AMENDMENT DETAILS
A	FR	DC	NPB	15/02/18	PLANNING CONTROLS UPDATED
B	NPB	DC	NPB	26/02/18	BLOCK & SECTION NUMBERS UPDATED

DATE:	SCALE:	CLIENT:	PROJECT:



**BLOCK DETAILS PLAN SHEET 2**  
 DRAWING NUMBER: 15-003035.3-BP02+  
 SHEET: B



**LEGEND**

- STAGE BOUNDARY
- DRIVEWAY
- INDICATIVE MU SITE DRIVEWAY
- AF** SECTION IDENTIFIER
- a** BLOCK IDENTIFIER
- 594m<sup>2</sup>** BLOCK AREA
- 15.416** BLOCK DIMENSIONS
- INDICATIVE TREE LOCATIONS
- COMBINED SERVICE EASEMENT 3.5m WIDE
- \*** PROVIDE ALL VISITOR PARKING REQUIREMENTS AS DETERMINED BY THE PARKING AND VEHICULAR ACCESS GENERAL CODE WITHIN THE BLOCK
- #** BLOCKS POSSIBLY AFFECTED BY EXTERNAL NOISE
- FRONT BOUNDARIES TO OPEN SPACE MUST PROVIDE ONE (1) GATE ACCESS
- +** BLOCK 500m<sup>2</sup>-549m<sup>2</sup>. R21 OF THE SINGLE DWELLING HOUSING DEVELOPMENT CODE APPLIES
- MINIMUM 0m GARAGE SETBACK
- MINIMUM 1m GARAGE SETBACK
- MINIMUM 1.5m GARAGE SETBACK
- MANDATORY SIDE BOUNDARY 2
- SURVEILLANCE UNITS
- BLOCK REQUIRES UTILITY MAINTENANCE ACCESS EASEMENT. MAINTENANCE AND EMERGENCY ACCESS ROUTES ARE REQUIRED WHERE SEWERAGE MAINS ARE LOCATED ON LEASED LAND AND BUYERS MUST COMPLY WITH THE REQUIREMENTS OF UTILITY PROVIDERS LAW. CONTACT ICON WATER ON (02) 662483111 OR [talktous@iconwater.com.au](mailto:talktous@iconwater.com.au) FOR FURTHER INFORMATION.

**NOTES:**

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- POSITION OF HYDRAULIC & ELECTRICAL SERVICES TO BE CONFIRMED BY ENGINEERING PLANS.

REV	DATE	BY	CHKD	APPROVED	DESCRIPTION
1	19/01/21	AM	AM		MAINTENANCE ACCESS SYMBOLS REMOVED FROM S55 B11.12
2	23/01/21	AM	AM		BLOCK & SECTION NUMBERS UPDATED
3	23/01/21	AM	AM		PLANNING CONTROLS UPDATED

NO.	DATE	BY	CHKD	APPROVED	DESCRIPTION
1	19/01/21	AM	AM		AMENDMENT DETAILS

SCALE (METRES)

1:1000

CLIENT: CAPITAL ESTATE DEVELOPMENTS Denman Prospect

PROJECT: DENMAN PROSPECT STAGE 2B

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**BLOCK DETAILS PLAN SHEET 3**

DRAWING NUMBER: 15-003035.3-BP03+

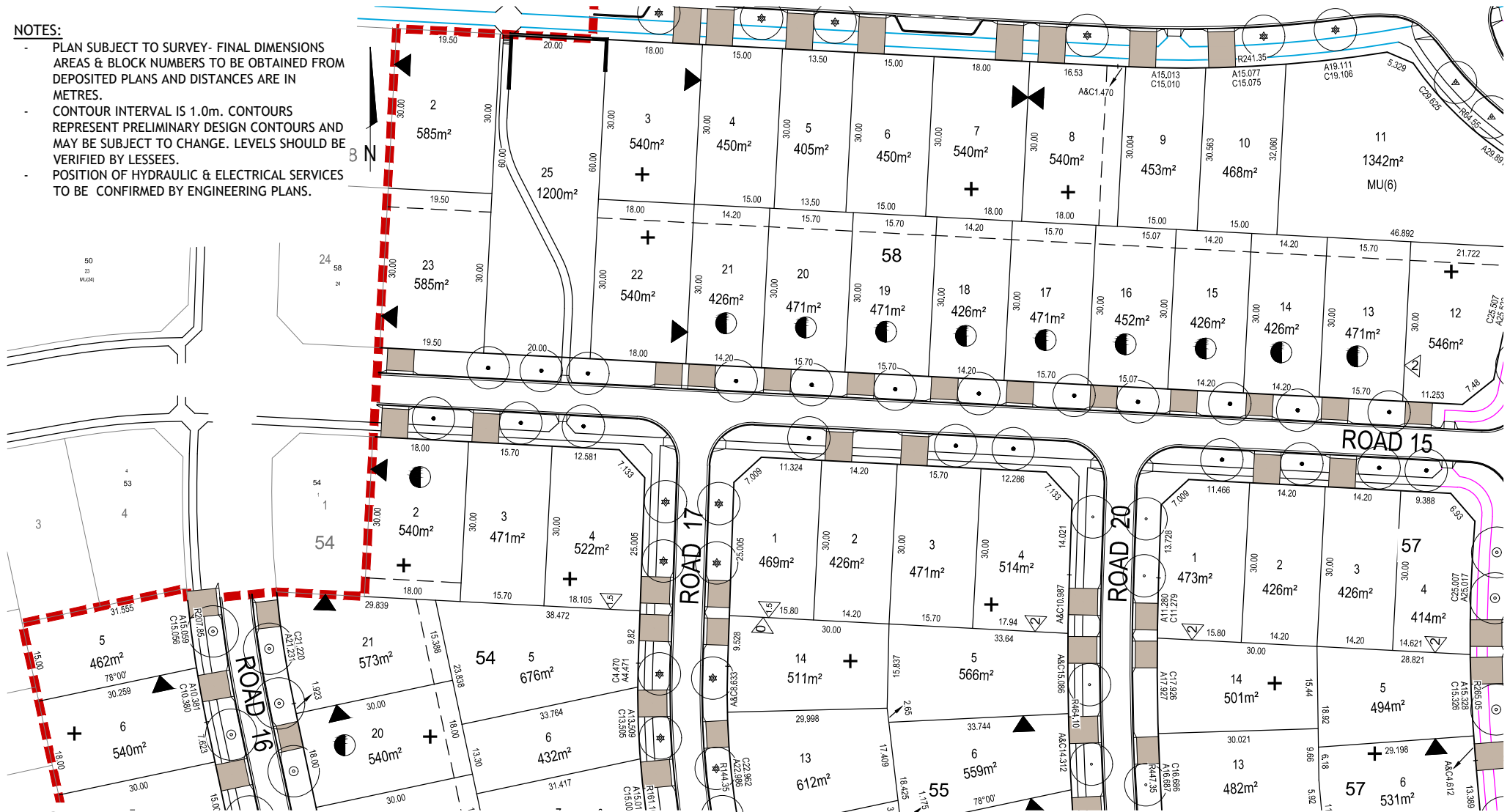
AMENDMENT: B





**NOTES:**

- PLAN SUBJECT TO SURVEY- FINAL DIMENSIONS AREAS & BLOCK NUMBERS TO BE OBTAINED FROM DEPOSITED PLANS AND DISTANCES ARE IN METRES.
- CONTOUR INTERVAL IS 1.0m. CONTOURS REPRESENT PRELIMINARY DESIGN CONTOURS AND MAY BE SUBJECT TO CHANGE. LEVELS SHOULD BE VERIFIED BY LESSEES.
- POSITION OF HYDRAULIC & ELECTRICAL SERVICES TO BE CONFIRMED BY ENGINEERING PLANS.

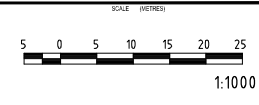


**LEGEND**

- STAGE BOUNDARY
- DRIVEWAY
- INDICATIVE MU SITE DRIVEWAY
- AF** SECTION IDENTIFIER
- a** BLOCK IDENTIFIER
- 594m² BLOCK AREA
- INDICATIVE TREE LOCATIONS
- COMBINED SERVICE EASEMENT 3.5m WIDE
- \*** PROVIDE ALL VISITOR PARKING REQUIREMENTS AS DETERMINED BY THE PARKING AND VEHICULAR ACCESS GENERAL CODE WITHIN THE BLOCK
- #** BLOCKS POSSIBLY AFFECTED BY EXTERNAL NOISE
- FRONT BOUNDARIES TO OPEN SPACE MUST PROVIDE ONE (1) GATE ACCESS
- BLOCK REQUIRES UTILITY MAINTENANCE ACCESS EASEMENT. MAINTENANCE AND EMERGENCY ACCESS ROUTES ARE REQUIRED WHERE SEWERAGE MAINS ARE LOCATED ON LEASED LAND AND BUYERS MUST COMPLY WITH THE REQUIREMENTS OF UTILITY PROVIDERS LAW. CONTACT ICON WATER ON (02) 662483111 OR [talktous@iconwater.com.au](mailto:talktous@iconwater.com.au) FOR FURTHER INFORMATION.
- MINIMUM 0m GARAGE SETBACK
- MINIMUM 1m GARAGE SETBACK
- MINIMUM 1.5m GARAGE SETBACK
- MANDATORY SIDE BOUNDARY 2
- +** BLOCK 500m²-549m². R21 OF THE SINGLE DWELLING HOUSING DEVELOPMENT CODE APPLIES

FIRST ISSUE	DESIGN	DESIGN	CHECK	APPROVED	DATE	AMENDMENT DETAILS
A	HA	DC	NPB	NPB	15/09/16	PLANNING CONTROLS UPDATED
B	NPB	DC	NPB	NPB	23/08/18	BLOCK & SECTION NUMBERS UPDATED
C	AM	DC	NPB	NPB	19/01/21	MAINTENANCE ACCESS SYMBOLS REMOVED FROM S55 B2.3.13.14

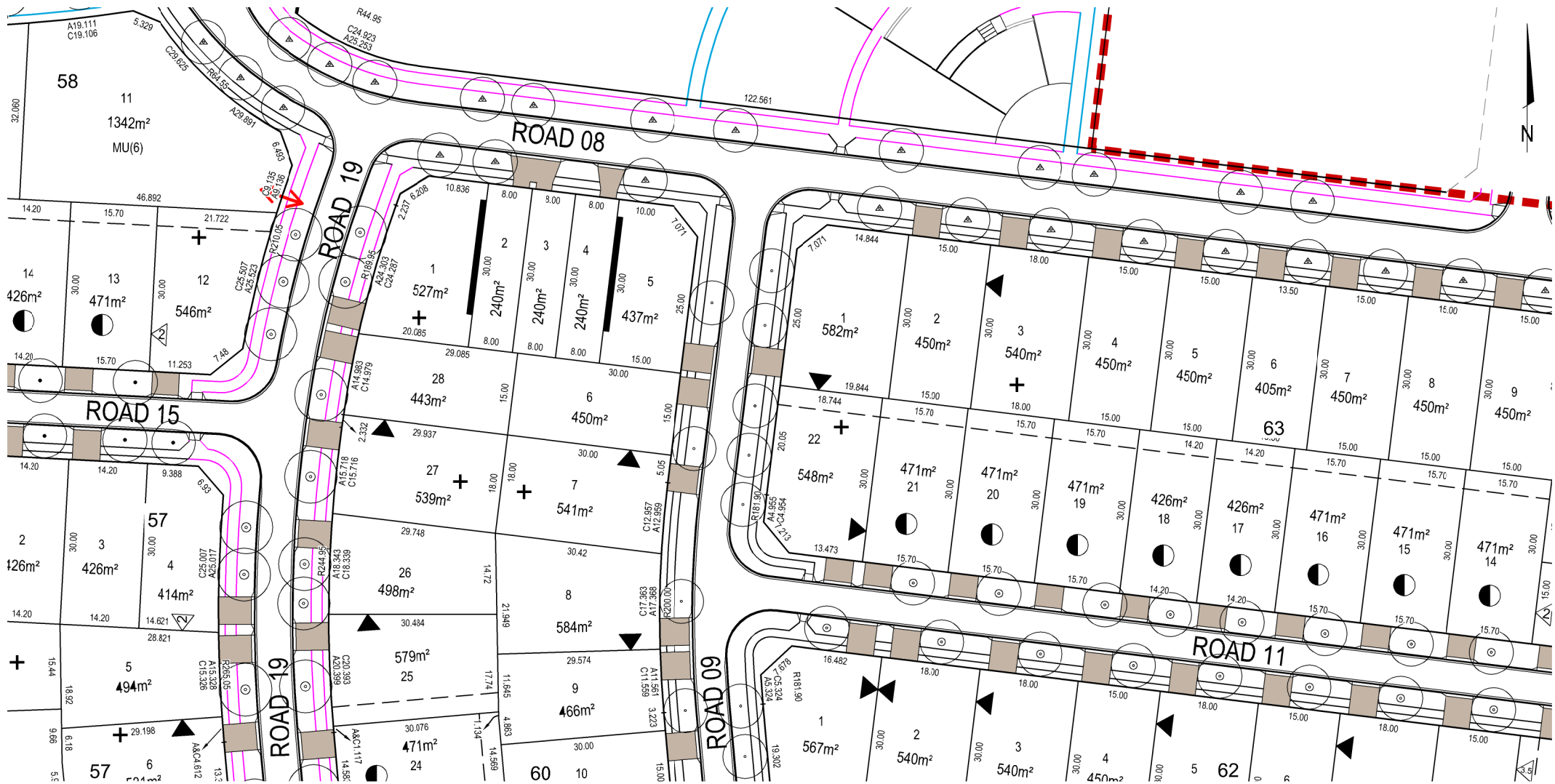
LINE NO.	
PROJECT NO.	



CLIENT: CAPITAL ESTATE DEVELOPMENTS  
Denman Prospect  
PROJECT: DENMAN PROSPECT STAGE 2B

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BLOCK DETAILS PLAN SHEET 5  
DRAWING NUMBER: 15-003035.3-BP05+  
A.M.C. C



**LEGEND**

- STAGE BOUNDARY
- DRIVEWAY
- INDICATIVE MU SITE DRIVEWAY
- AF** SECTION IDENTIFIER
- a** BLOCK IDENTIFIER
- 594m<sup>2</sup>** BLOCK AREA
- 15.416** BLOCK DIMENSIONS
- INDICATIVE TREE LOCATIONS
- COMBINED SERVICE EASEMENT 3.5m WIDE
- \*** PROVIDE ALL VISITOR PARKING REQUIREMENTS AS DETERMINED BY THE PARKING AND VEHICULAR ACCESS GENERAL CODE WITHIN THE BLOCK
- #** BLOCKS POSSIBLY AFFECTED BY EXTERNAL NOISE
- FRONT BOUNDARIES TO OPEN SPACE MUST PROVIDE ONE (1) GATE ACCESS
- +** BLOCK 500m<sup>2</sup>-549m<sup>2</sup>. R21 OF THE SINGLE DWELLING HOUSING DEVELOPMENT CODE APPLIES
- MINIMUM 0m GARAGE SETBACK
- MINIMUM 1m GARAGE SETBACK
- MINIMUM 1.5m GARAGE SETBACK
- MANDATORY SIDE BOUNDARY 2
- ZERO SETBACK TO BOUNDARY: UPPER & LOWER FLOOR LEVEL

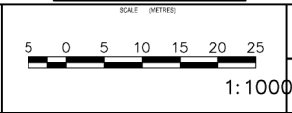
**NOTES:**

- PLAN SUBJECT TO SURVEY- FINAL DIMENSIONS AREAS & BLOCK NUMBERS TO BE OBTAINED FROM DEPOSITED PLANS AND DISTANCES ARE IN METRES.
- CONTOUR INTERVAL IS 1.0m. CONTOURS REPRESENT PRELIMINARY DESIGN CONTOURS AND MAY BE SUBJECT TO CHANGE. LEVELS SHOULD BE VERIFIED BY LESSEES.
- POSITION OF HYDRAULIC & ELECTRICAL SERVICES TO BE CONFIRMED BY ENGINEERING PLANS.

FIRST ISSUE	REVISION	DATE	AMENDMENT DETAILS
A	HA DC NPB	15/09/18	
B	DC NPB	26/02/18	BLOCK & SECTION NUMBERS UPDATED

DATE	REVISION	DATE	AMENDMENT DETAILS
15/09/18	HA DC NPB		
26/02/18	DC NPB		BLOCK & SECTION NUMBERS UPDATED

CLIENT:	DENMAN PROSPECT
PROJECT:	DENMAN PROSPECT STAGE 23



**CAPITAL ESTATE DEVELOPMENTS**

**Denman Prospect**

PROJECT: DENMAN PROSPECT STAGE 23

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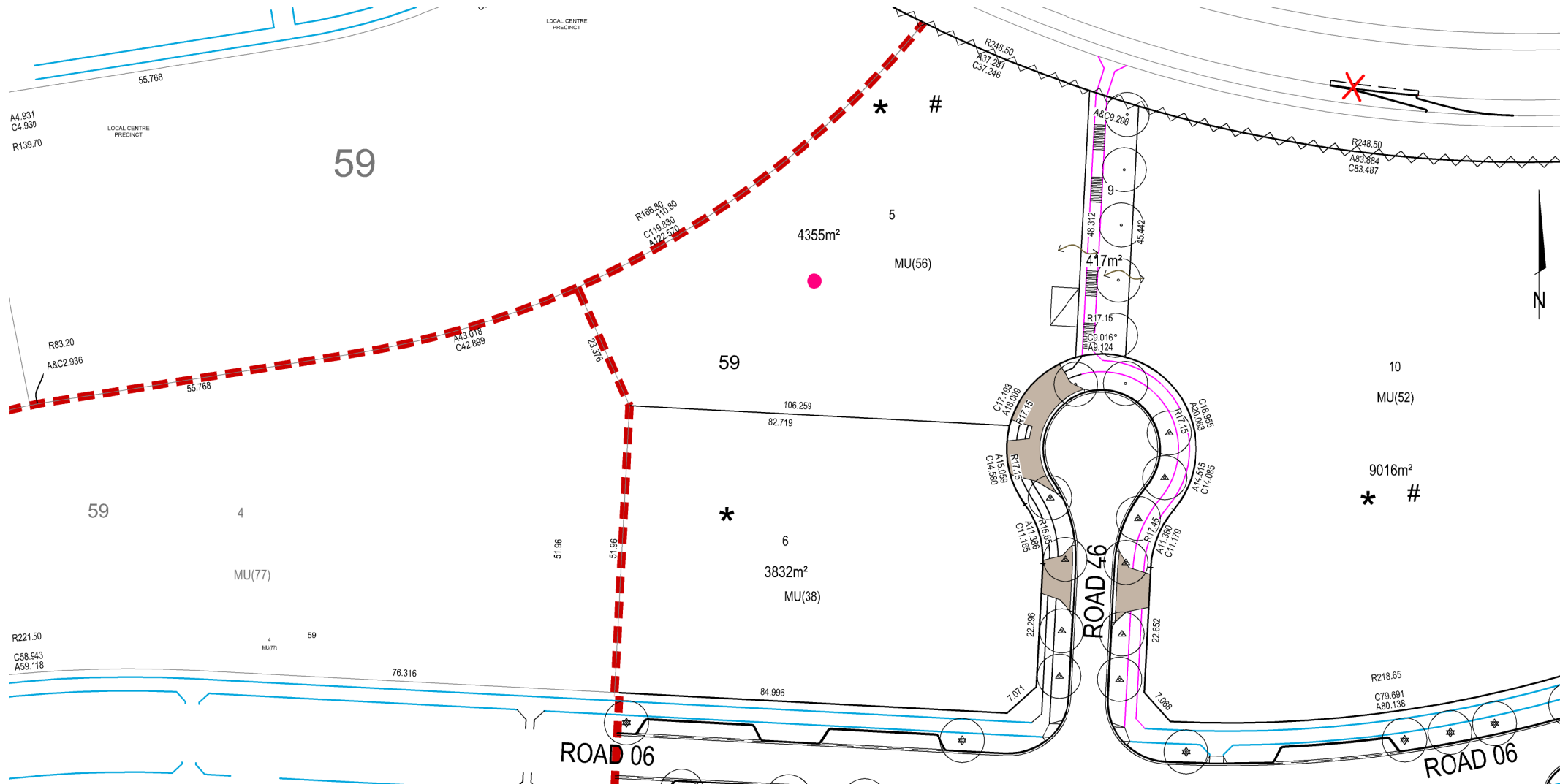
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**BLOCK DETAILS PLAN SHEET 6**

DRAWING NUMBER: 15-003035.3-BP06+

AMEND: B





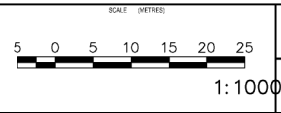
### LEGEND

- STAGE BOUNDARY
- INDICATIVE TREE LOCATIONS
- NO VEHICLE ACCESS PERMITTED
- DRIVEWAY
- INDICATIVE MU SITE DRIVEWAY
- BAL 12.5 / BAL 29 BUILDINGS LOCATED IN A DESIGNATED BUSHFIRE PRONE AREA ARE TO BE CONSTRUCTED IN ACCORDANCE WITH AS 3959-2009 (NATIONAL CONSTRUCTION CODE VOLUME 2, 3.7.4 BUSHFIRE AREAS)
- AF** SECTION IDENTIFIER
- a** BLOCK IDENTIFIER
- 594m²** BLOCK AREA
- 15.416** BLOCK DIMENSIONS
- COMBINED SERVICE EASEMENT 3.5m WIDE
- \*** PROVIDE ALL VISITOR PARKING REQUIREMENTS AS DETERMINED BY THE PARKING AND VEHICULAR ACCESS GENERAL CODE WITHIN THE BLOCK
- #** BLOCKS POSSIBLY AFFECTED BY EXTERNAL NOISE
- FRONT BOUNDARIES TO OPEN SPACE MUST PROVIDE ONE (1) GATE ACCESS
- +** BLOCK 500m²-549m². R21 OF THE SINGLE DWELLING HOUSING DEVELOPMENT CODE APPLIES
- SUBSTATION LOCATION

- NOTES:**
- PLAN SUBJECT TO SURVEY- FINAL DIMENSIONS AREAS & BLOCK NUMBERS TO BE OBTAINED FROM DEPOSITED PLANS AND DISTANCES ARE IN METRES.
  - CONTOUR INTERVAL IS 1.0m. CONTOURS REPRESENT PRELIMINARY DESIGN CONTOURS AND MAY BE SUBJECT TO CHANGE. LEVELS SHOULD BE VERIFIED BY LESSEES.
  - POSITION OF HYDRAULIC & ELECTRICAL SERVICES TO BE CONFIRMED BY ENGINEERING PLANS.

REV#	ISSUE	BY	CHKD	APPROVED	DATE	AMENDMENT DETAILS
A	HA	DC	NPB	NPB	15/02/16	
B	NPB	DC	NPB	NPB	07/04/17	AREAS UPDATED
C	FH	DC	NPB	NPB	09/08/17	PLANNING CONTROLS UPDATED
D	NPB	DC	NPB	NPB	23/08/17	SUBSTATION LOCATION ADDED
E	NPB	DC	NPB	NPB	26/02/18	BLOCK & SECTION NUMBERS UPDATED

WAVE NO:	
PROJECT NO:	



CLIENT: **CAPITAL ESTATE DEVELOPMENTS** Denman Prospect

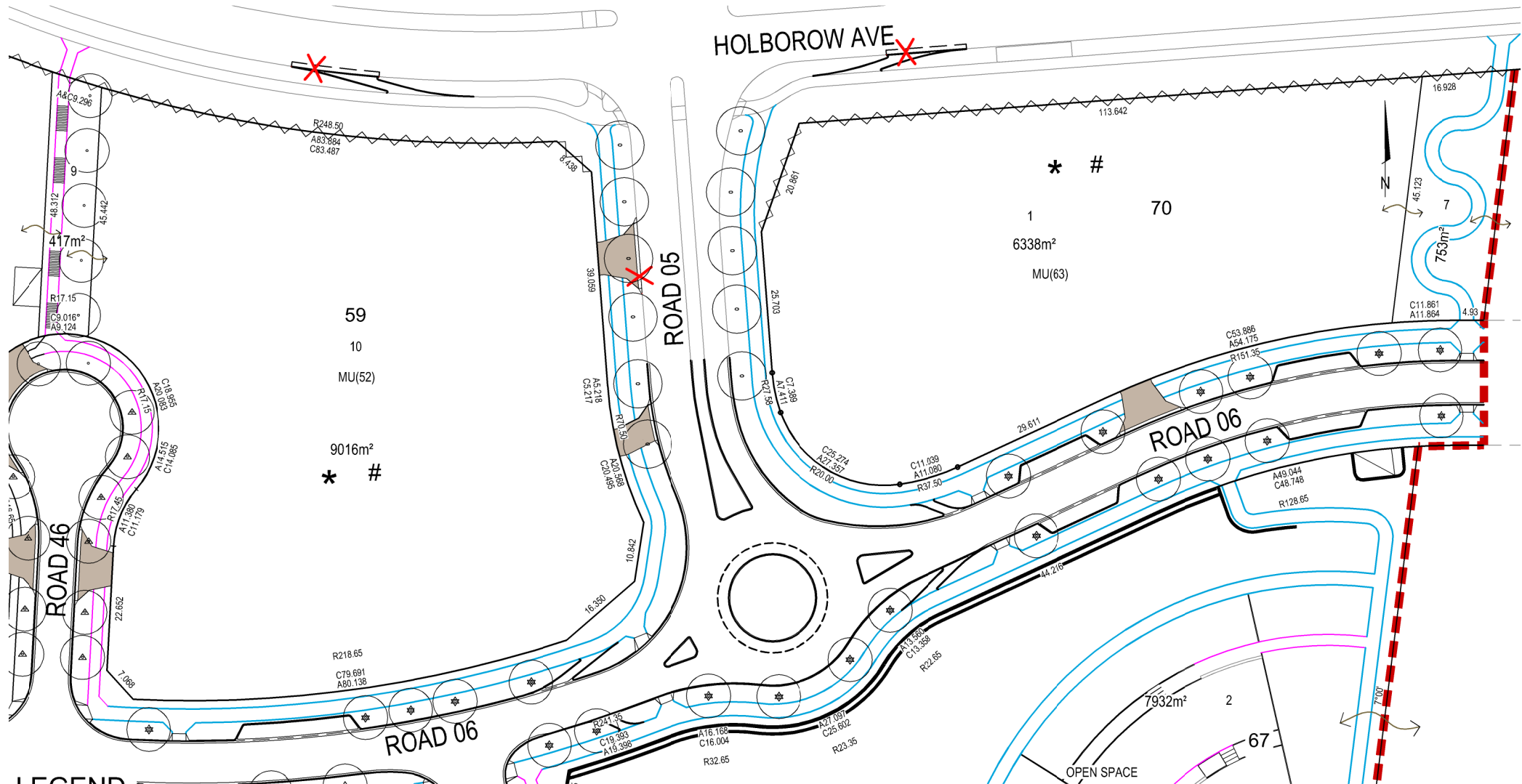
PROJECT: DENMAN PROSPECT STAGE 23

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DRAWING TITLE: **BLOCK DETAILS PLAN SHEET 7**

DRAWING NUMBER: 15-003035.3-BP07+

AMEND: D



**LEGEND**

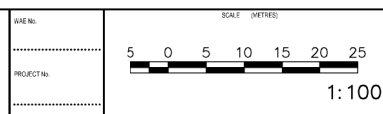
- STAGE BOUNDARY
- DRIVEWAY
- INDICATIVE MU SITE DRIVEWAY
- AF** SECTION IDENTIFIER
- a** BLOCK IDENTIFIER
- 594m<sup>2</sup> BLOCK AREA
- 15.416 BLOCK DIMENSIONS
- INDICATIVE TREE LOCATIONS
- COMBINED SERVICE EASEMENT 3.5m WIDE
- \*** PROVIDE ALL VISITOR PARKING REQUIREMENTS AS DETERMINED BY THE PARKING AND VEHICULAR ACCESS GENERAL CODE WITHIN THE BLOCK
- #** BLOCKS POSSIBLY AFFECTED BY EXTERNAL NOISE
- FRONT BOUNDARIES TO OPEN SPACE MUST PROVIDE ONE (1) GATE ACCESS
- +** BLOCK 500m<sup>2</sup>-549m<sup>2</sup>. R21 OF THE SINGLE DWELLING HOUSING DEVELOPMENT CODE APPLIES
- NO VEHICLE ACCESS PERMITTED
- SUBSTATION LOCATION

**NOTES:**

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REV	DATE	BY	CHKD	APPROVED	DESCRIPTION
A	15/02/16	HA	DC	NPB	AMENDMENT DETAILS
B	09/08/17	FR	DC	NPB	PLANNING CONTROLS UPDATED
C	23/08/17	NPB	DC	NPB	SUBSTATION LOCATION ADDED
D	22/02/18	NPB	DC	NPB	BOUNDARIES AMENDED

DATE:	SCALE:	CLIENT:
PROJECT:	PROJECT:	PROJECT:



CLIENT: CAPITAL ESTATE DEVELOPMENTS Denman Prospect

PROJECT: DENMAN PROSPECT STAGE 23

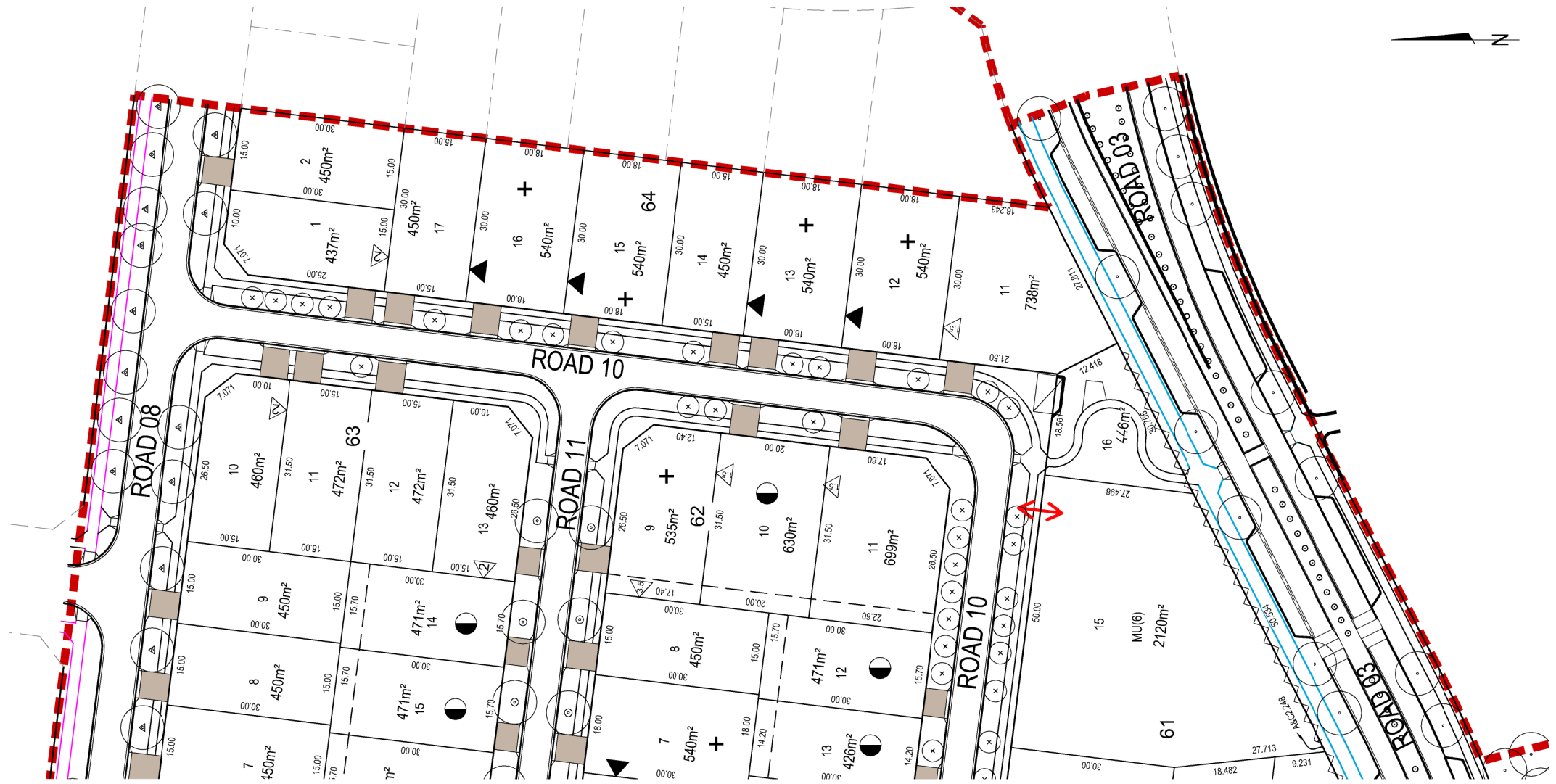
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DRAWING TITLE: BLOCK DETAILS PLAN SHEET 8

DRAWING NUMBER: 15-003035.3-BP08+

AMEND: C





### LEGEND

- STAGE BOUNDARY
- DRIVEWAY
- INDICATIVE MU SITE DRIVEWAY
- AF** SECTION IDENTIFIER
- a** BLOCK IDENTIFIER
- 594m<sup>2</sup> BLOCK AREA
- 15.416 BLOCK DIMENSIONS
- INDICATIVE TREE LOCATIONS
- COMBINED SERVICE EASEMENT 3.5m WIDE
- \*** PROVIDE ALL VISITOR PARKING REQUIREMENTS AS DETERMINED BY THE PARKING AND VEHICULAR ACCESS GENERAL CODE WITHIN THE BLOCK
- #** BLOCKS POSSIBLY AFFECTED BY EXTERNAL NOISE
- FRONT BOUNDARIES TO OPEN SPACE MUST PROVIDE ONE (1) GATE ACCESS
- +** BLOCK 500m<sup>2</sup>-549m<sup>2</sup>. R21 OF THE SINGLE DWELLING HOUSING DEVELOPMENT CODE APPLIES
- MINIMUM 1m GARAGE SETBACK
- MINIMUM 1.5m GARAGE SETBACK
- MANDATORY SIDE BOUNDARY 2
- NO VEHICLE ACCESS PERMITTED
- BLOCK REQUIRES UTILITY MAINTENANCE ACCESS EASEMENT. MAINTENANCE AND EMERGENCY ACCESS ROUTES ARE REQUIRED WHERE SEWERAGE MAINS ARE LOCATED ON LEASED LAND AND BUYERS MUST COMPLY WITH THE REQUIREMENTS OF UTILITY PROVIDERS LAW. CONTACT ICON WATER ON (02) 662483111 OR [talktous@iconwater.com.au](mailto:talktous@iconwater.com.au) FOR FURTHER INFORMATION.
- SUBSTATION LOCATION

### NOTES:

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- POSITION OF HYDRAULIC & ELECTRICAL SERVICES TO BE CONFIRMED BY ENGINEERING PLANS.

REV	DATE	BY	CHKD	APPV	DESCRIPTION
A	15/02/18	HA	DC	NPB	PLANNING CONTROLS UPDATED
B	23/08/17	NPB	DC	NPB	SUBSTATION LOCATION ADDED
C	26/02/18	NPB	DC	NPB	BLOCK & SECTION NUMBERS UPDATED

AMENDMENT DETAILS

SCALE (METRES)

1:1000

CAPITAL ESTATE DEVELOPMENTS

Denman Prospect

PROJECT: DENMAN PROSPECT STAGE 23

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DRAWING TITLE: BLOCK DETAILS PLAN SHEET 9

DRAWING NUMBER: 15-003035.3-BP09+

AMEND: C