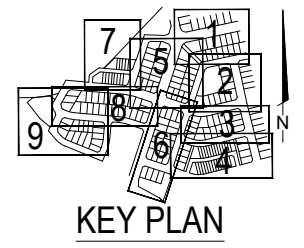


LEGEND

- STAGE BOUNDARY
- DRIVEWAY
- INDICATIVE MU SITE DRIVEWAY
- 42** SECTION IDENTIFIER
- 16** BLOCK IDENTIFIER
- 594m²** BLOCK AREA
- 15.416** BLOCK DIMENSIONS
- INDICATIVE TREE LOCATIONS
- COMBINED SERVICE EASEMENT 3.5m WIDE
- BLOCK 500m²-549m². R21 OF THE SINGLE DWELLING HOUSING DEVELOPMENT CODE APPLIES
- NEW/EXISTING SUBSTATION LOCATION
- MINIMUM 0m GARAGE SETBACK
- MINIMUM 1m GARAGE SETBACK
- MINIMUM 1.5m GARAGE SETBACK
- MANDATORY SIDE BOUNDARY 2
- MINIMUM 1.5m SETBACK - ALL FLOORS
- SURVEILLANCE UNITS
- BLOCK REQUIRES UTILITY MAINTENANCE EASEMENT. MAINTENANCE AND EMERGENCY ACCESS ROUTES ARE REQUIRED WHERE SEWERAGE MAINS ARE LOCATED ON LEASED LAND AND BUYERS MUST COMPLY WITH THE REQUIREMENTS OF UTILITY PROVIDERS LAW. CONTACT ICON WATER ON (02) 662483111 OR talktous@iconwater.com.au FOR FURTHER INFORMATION.
- BAL 12.5 / BAL 29 BUILDINGS LOCATED IN A DESIGNATED BUSHFIRE PRONE AREA ARE TO BE CONSTRUCTED IN ACCORDANCE WITH AS 3959-2009 (NATIONAL CONSTRUCTION CODE VOLUME 2, 3.7.4 BUSHFIRE AREAS)
- COURTYARD WALL CONTROL
- PEDESTRIAN ACCESS REQUIRED
MINIMUM OF ONE GATE ACCESS TO BE PROVIDED
- MAXIMUM 2 STOREYS
- LIMITED POTENTIAL DEVELOPMENT BLOCKS



NOTES:

- PLAN SUBJECT TO SURVEY- FINAL DIMENSIONS AREAS & BLOCK NUMBERS TO BE OBTAINED FROM DEPOSITED PLANS AND DISTANCES ARE IN METRES.
- POSITION OF HYDRAULIC & ELECTRICAL SERVICES TO BE CONFIRMED BY ENGINEERING PLANS.

DESIGN	DRAWN	CHECK	APPROVED	DATE	AMENDMENT DETAILS
A	DR	JG	AM	12/21/18	LEGEND UPDATED
E	DR	JG	AM	12/20/21	GENERAL AMENDMENTS
F	JER	AM	AM	14/07/22	UPDATED BLOCK NUMBERS
G	JER	AM	AM	19/07/22	UPDATED BLOCK NUMBERS
H	JER	AM	AM	28/10/22	NOTE CHANGED TO LIMITED POTENTIAL DEVELOPMENT BLOCKS
I	JG	HH	JER	31/01/23	EASEMENT ADDED

WAE No.	SCALE	1:1000
PROJECT No.	5	0 5 10 15 20 25

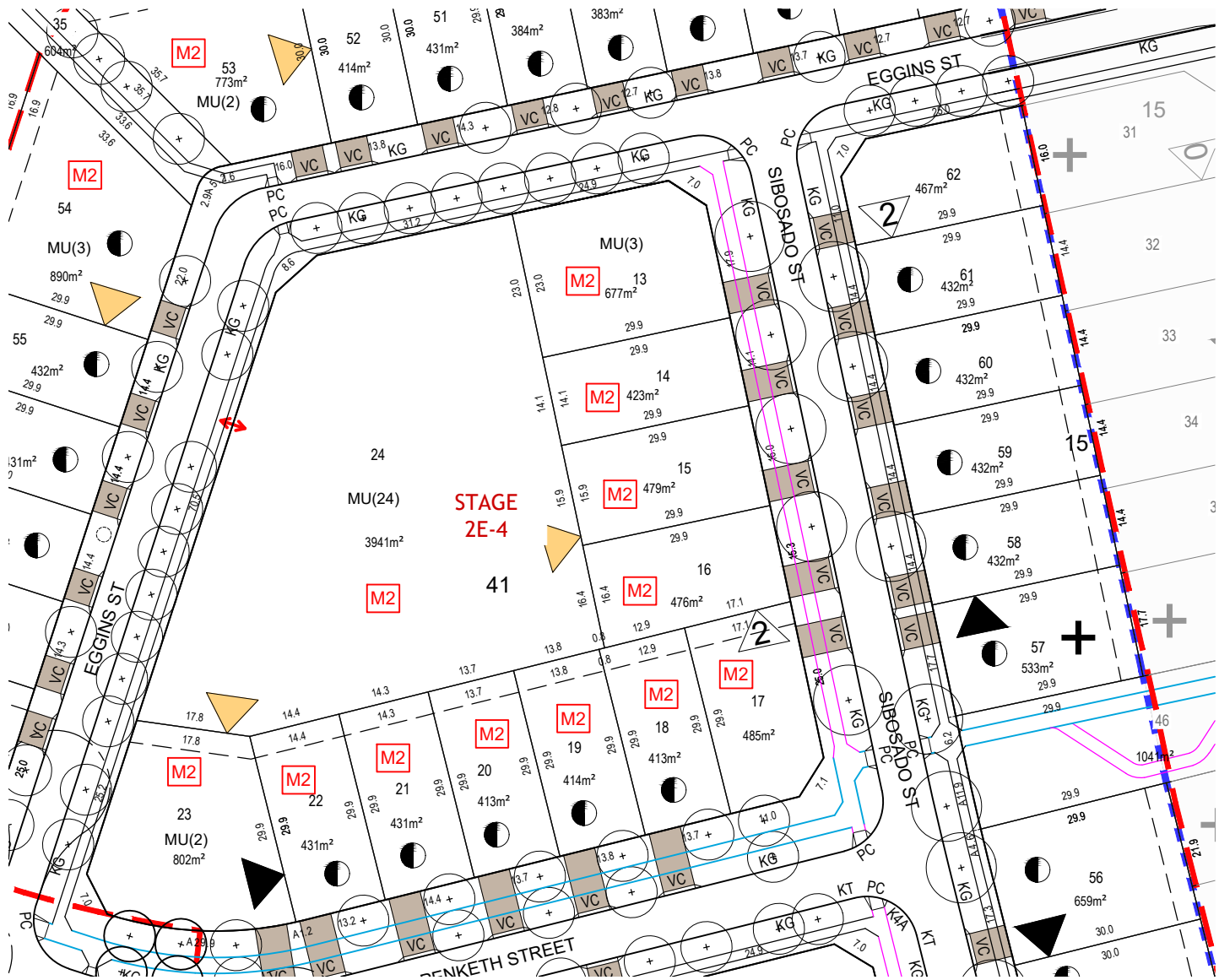
CLIENT: **DENMAN PROSPECT**

PROJECT: **DENMAN PROSPECT STAGE 2E**

Logo: **calbre CONSULTING**

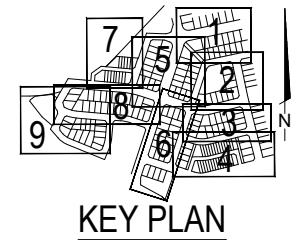
Logo: **Danman Prospect**

DRAWING TITLE: BLOCK DETAILS PLAN SHEET 1 OF 9	
DRAWING NUMBER: 15-003035.6-BP01+	AMEND: I



LEGEND

- STAGE BOUNDARY
- DRIVEWAY
- INDICATIVE MU SITE DRIVEWAY
- 42** SECTION IDENTIFIER
- 16** BLOCK IDENTIFIER
- 594m²** BLOCK AREA
- 15.416** BLOCK DIMENSIONS
- INDICATIVE TREE LOCATIONS
- COMBINED SERVICE EASEMENT 3.5m WIDE
- NEW/EXISTING SUBSTATION LOCATION
- MINIMUM 0m GARAGE SETBACK
- MINIMUM 1m GARAGE SETBACK
- MINIMUM 1.5m GARAGE SETBACK
- MANDATORY SIDE BOUNDARY 2
- MINIMUM 1.5m SETBACK - ALL FLOORS
- SURVEILLANCE UNITS
- BLOCK REQUIRES UTILITY MAINTENANCE ACCESS EASEMENT. MAINTENANCE AND EMERGENCY ACCESS ROUTES ARE REQUIRED WHERE SEWERAGE MAINS ARE LOCATED ON LEASED LAND AND BUYERS MUST COMPLY WITH THE REQUIREMENTS OF UTILITY PROVIDERS LAWS. CONTACT ICON WATER ON (02) 662483111 OR talktous@iconwater.com.au FOR FURTHER INFORMATION.
- BAL 12.5 / BAL 29 BUILDINGS LOCATED IN A DESIGNATED BUSHFIRE PRONE AREA ARE TO BE CONSTRUCTED IN ACCORDANCE WITH AS 3959-2009 (NATIONAL CONSTRUCTION CODE VOLUME 2, 3.7.4 BUSHFIRE AREAS)
- COURTYARD WALL CONTROL
- PEDESTRIAN ACCESS REQUIRED
MINIMUM OF ONE GATE ACCESS TO BE PROVIDED
- MAXIMUM 2 STOREYS
- LIMITED POTENTIAL DEVELOPMENT BLOCKS



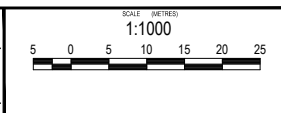
NOTES:

- PLAN SUBJECT TO SURVEY- FINAL DIMENSIONS AREAS & BLOCK NUMBERS TO BE OBTAINED FROM DEPOSITED PLANS AND DISTANCES ARE IN METRES.
- POSITION OF HYDRAULIC & ELECTRICAL SERVICES TO BE CONFIRMED BY ENGINEERING PLANS.

REV	DATE	BY	CHECKED	DESCRIPTION
1	19/07/22	JER	AM	ADDED NEW/EXISTING SUBSTATION LOCATIONS
2	19/07/22	JER	AM	UPDATED BLOCK NUMBERS
3	19/07/22	JER	AM	UPDATED BLOCK NUMBERS
4	22/07/22	JER	AM	SECTION 41 BLOCK 23 MU SITE LABEL MOVED
5	06/10/22	JER	AM	NOTE CHANGED TO LIMITED POTENTIAL DEVELOPMENT BLOCKS
6	31/01/23	JER	AM	EASEMENT ADDED

DESIGN	DC	EH	NPB	NPB	11/11/15
CHECK	JER	SR	JER	AM	11/11/15
APPROVED	JER	SR	JER	AM	11/11/15
DATE	11/11/15				

WAF No.	
PROJECT No.	

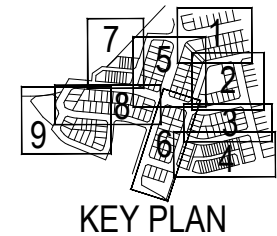
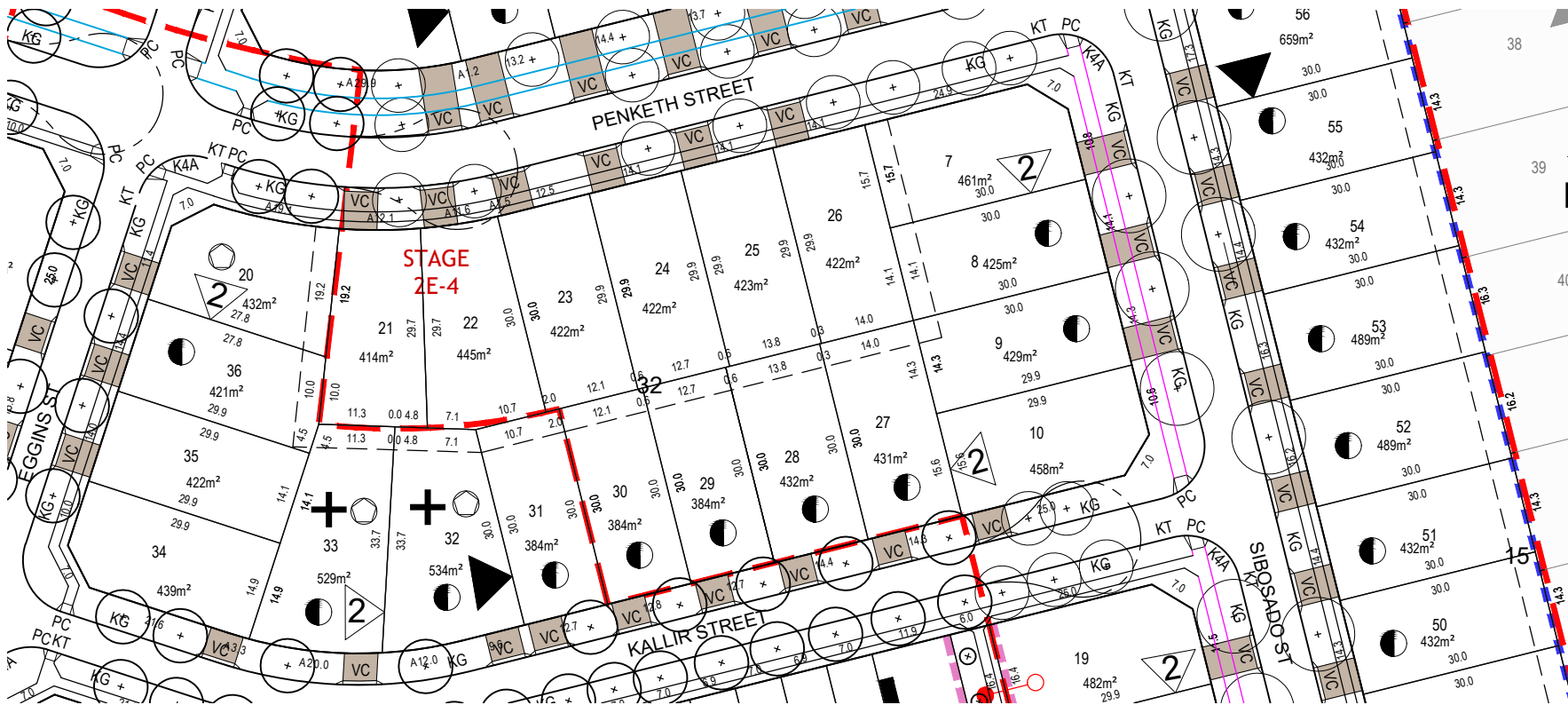


CLIENT: CAPITAL ESTATE DEVELOPMENTS

 PROJECT: DENMAN PROSPECT STAGE 2E

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BLOCK DETAILS PLAN SHEET 2 OF 9	
DRAWING NUMBER: 15-003035.6-BP02+	AMEND: L



LEGEND

- - - STAGE BOUNDARY
- DRIVEWAY
- INDICATIVE MU SITE DRIVEWAY
- 42** SECTION IDENTIFIER
- 16** BLOCK IDENTIFIER
- 594m²** BLOCK AREA
- 15.416** BLOCK DIMENSIONS
- INDICATIVE TREE LOCATIONS
- COMBINED SERVICE EASEMENT 3.5m WIDE
- +** BLOCK 500m²-549m². R21 OF THE SINGLE DWELLING HOUSING DEVELOPMENT CODE APPLIES
- NEW/EXISTING SUBSTATION LOCATION
- MINIMUM 0m GARAGE SETBACK
- MINIMUM 1m GARAGE SETBACK
- MINIMUM 1.5m GARAGE SETBACK
- COURTYARD WALL CONTROL
- PEDESTRIAN ACCESS REQUIRED MINIMUM OF ONE GATE ACCESS TO BE PROVIDED
- LIMITED POTENTIAL DEVELOPMENT BLOCKS
- MANDATORY SIDE BOUNDARY 2 SURVEILLANCE UNITS
- BLOCK REQUIRES UTILITY MAINTENANCE ACCESS EASEMENT. MAINTENANCE AND EMERGENCY ACCESS ROUTES ARE REQUIRED WHERE SEWERAGE MAINS ARE LOCATED ON LEASED LAND AND BUYERS MUST COMPLY WITH THE REQUIREMENTS OF UTILITY PROVIDERS LAW. CONTACT ICON WATER ON (02) 662483111 OR talktous@iconwater.com.au FOR FURTHER INFORMATION.
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NOTES:

- PLAN SUBJECT TO SURVEY- FINAL DIMENSIONS AREAS & BLOCK NUMBERS TO BE OBTAINED FROM DEPOSITED PLANS AND DISTANCES ARE IN METRES.
- POSITION OF HYDRAULIC & ELECTRICAL SERVICES TO BE CONFIRMED BY ENGINEERING PLANS.

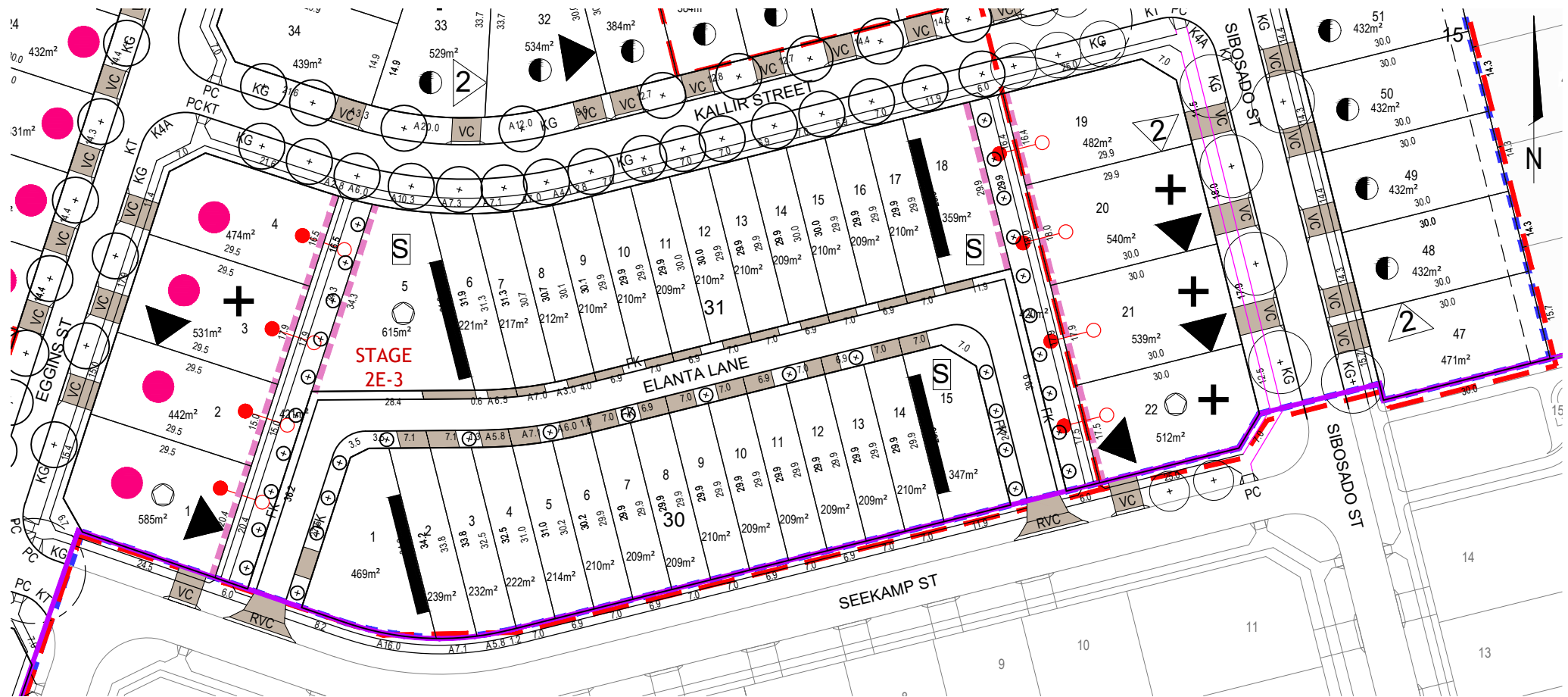
DESIGN	DRAWN	CHECK	APPROVED	DATE	AMENDMENT DETAILS
DC	EH	NPB	NPB	12/07/18	
DR	JG	AM	AM	12/07/21	GENERAL AMENDMENTS
JER	SR	AM	AM	13/07/21	1 m GARAGE SETBACK REMOVED IN 88/32
JER	AM	AM	AM	14/07/22	UPDATED BLOCK NUMBERS
JER	AM	AM	AM	19/07/22	UPDATED BLOCK NUMBERS
JER	AM	AM	AM	26/10/22	NOTE CHANGED TO LIMITED POTENTIAL DEVELOPMENT BLOCKS
JER	JG	HH	JER	31/01/23	EASEMENT ADDED

FILE NO.	SCALE (METRES)	CLIENT	PROJECT TITLE
	1:1000	CAPITAL ESTATE DEVELOPMENTS	BLOCK DETAILS PLAN SHEET 3 OF 9
	5 0 5 10 15 20 25	Denman Prospect	DENMAN PROSPECT STAGE 2E
		calibre CONSULTING	DRAWING NUMBER 15-003035.6-BP03+

DATE	ISSUE	DESCRIPTION

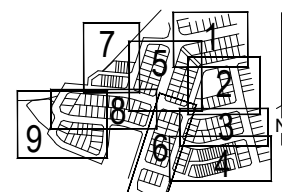
DATE	ISSUE	DESCRIPTION

DATE	ISSUE	DESCRIPTION



LEGEND

- STAGE BOUNDARY
- DRIVEWAY
- INDICATIVE MU SITE DRIVEWAY
- 42** SECTION IDENTIFIER
- 16** BLOCK IDENTIFIER
- 594m²** BLOCK AREA
- 15.416** BLOCK DIMENSIONS
- INDICATIVE TREE LOCATIONS
- COMBINED SERVICE EASEMENT 3.5m WIDE
- BLOCK 500m²-549m². R21 OF THE SINGLE DWELLING HOUSING DEVELOPMENT CODE APPLIES
- NEW/EXISTING SUBSTATION LOCATION
- MINIMUM 0m GARAGE SETBACK
- MINIMUM 1m GARAGE SETBACK
- MINIMUM 1.5m GARAGE SETBACK
- COURTYARD WALL CONTROL
- PEDESTRIAN ACCESS REQUIRED
MINIMUM OF ONE GATE ACCESS TO BE PROVIDED
- LIMITED POTENTIAL DEVELOPMENT BLOCKS
- MANDATORY SIDE BOUNDARY 2
- SURVEILLANCE UNITS
- BLOCK REQUIRES UTILITY MAINTENANCE ACCESS EASEMENT. MAINTENANCE AND EMERGENCY ACCESS ROUTES ARE REQUIRED WHERE SEWERAGE MAINS ARE LOCATED ON LEASED LAND AND BUYERS MUST COMPLY WITH THE REQUIREMENTS OF UTILITY PROVIDERS LAW. CONTACT talktous@iconwater.com.au FOR FURTHER INFORMATION.
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- ZERO SETBACK TO BOUNDARY:
UPPER AND LOWER FLOOR LEVEL

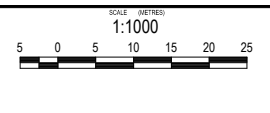


KEY PLAN

- NOTES:**
- PLAN SUBJECT TO SURVEY- FINAL DIMENSIONS AREAS & BLOCK NUMBERS TO BE OBTAINED FROM DEPOSITED PLANS AND DISTANCES ARE IN METRES.
 - POSITION OF HYDRAULIC & ELECTRICAL SERVICES TO BE CONFIRMED BY ENGINEERING PLANS.

FIRST NAME	DESIGN	DATE	APPROVED	DATE	AMENDMENT DETAILS
A	DC	JG	AM	12/01/16	LEGEND UPDATED, GATE ACCESS REMOVED FROM 5&18 SECTION 31
E	DR	JG	AM	12/01/21	GENERAL AMENDMENTS
F	JER	JG	AM	14/07/22	UPDATED BLOCK NUMBERS
G	JER	JG	AM	19/07/22	UPDATED BLOCK NUMBERS
H	JER	JG	AM	06/10/22	NOTE CHANGED TO LIMITED POTENTIAL DEVELOPMENT BLOCKS
I	H	JG	JER	31/01/23	EASEMENT ADDED

WAE No.
PROJECT No.



CLIENT: **CAPITAL ESTATE** (RESIDENTIAL)
Denman Prospect

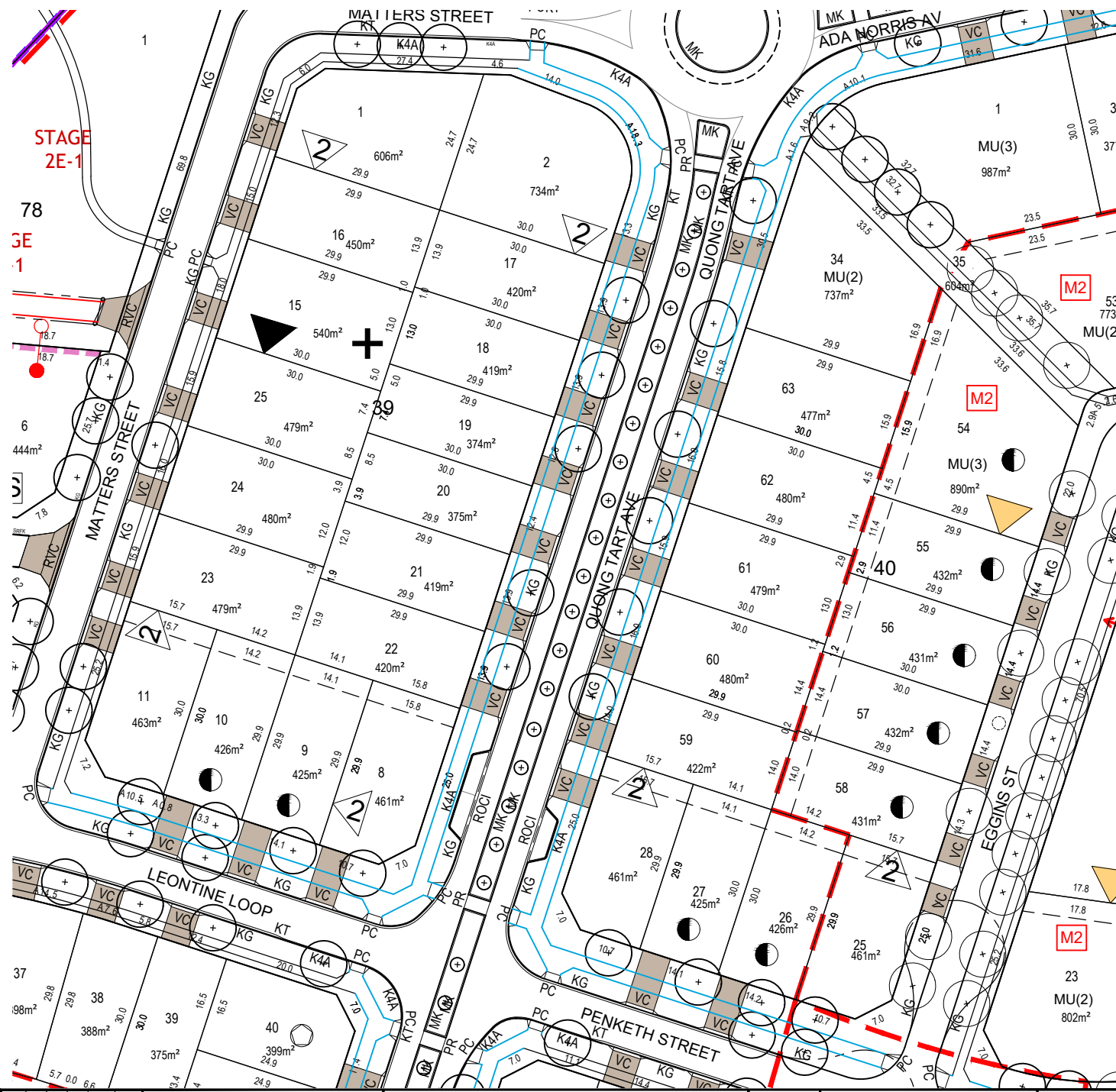
PROJECT: **DENMAN PROSPECT STAGE 2E**

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DRAWING TITLE: **BLOCK DETAILS PLAN SHEET 4 OF 9**

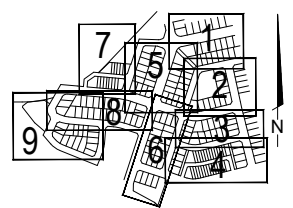
DRAWING NUMBER: **15-003035.6-BP04+**

AMEND: **I**



LEGEND

- STAGE BOUNDARY
- DRIVEWAY
- INDICATIVE MU SITE DRIVEWAY
- 42** SECTION IDENTIFIER
- 16** BLOCK IDENTIFIER
- 594m²** BLOCK AREA
- 15.416** BLOCK DIMENSIONS
- INDICATIVE TREE LOCATIONS
- COMBINED SERVICE EASEMENT 3.5m WIDE
- +** BLOCK 500m²-549m². R21 OF THE SINGLE DWELLING HOUSING DEVELOPMENT CODE APPLIES
- NEW/EXISTING SUBSTATION LOCATION
- MINIMUM 0m GARAGE SETBACK
- MINIMUM 1m GARAGE SETBACK
- MINIMUM 1.5m GARAGE SETBACK
- MANDATORY SIDE BOUNDARY 2
- MINIMUM 1.5m SETBACK - ALL FLOORS
- SURVEILLANCE UNITS
- BLOCK REQUIRES UTILITY MAINTENANCE ACCESS EASEMENT. MAINTENANCE AND EMERGENCY ACCESS ROUTES ARE REQUIRED WHERE SEWERAGE MAINS ARE LOCATED ON LEASED LAND AND BUYERS MUST COMPLY WITH THE REQUIREMENTS OF UTILITY PROVIDERS LAW. CONTACT ICON WATER ON (02) 662483111 OR talktous@iconwater.com.au FOR FURTHER INFORMATION.
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- COURTYARD WALL CONTROL
- PEDESTRIAN ACCESS REQUIRED
MINIMUM OF ONE GATE ACCESS TO BE PROVIDED
- MAXIMUM 2 STOREYS
- LIMITED POTENTIAL DEVELOPMENT BLOCKS



KEY PLAN

NOTES:

- PLAN SUBJECT TO SURVEY- FINAL DIMENSIONS AREAS & BLOCK NUMBERS TO BE OBTAINED FROM DEPOSITED PLANS AND DISTANCES ARE IN METRES.
- POSITION OF HYDRAULIC & ELECTRICAL SERVICES TO BE CONFIRMED BY ENGINEERING PLANS.

REV	DESCRIPTION	DATE
1	LEGEND UPDATED	12/03/21
2	GENERAL AMENDMENTS	12/03/21
3	ADDED NEW/EXISTING SUBSTATION LOCATIONS	21/04/22
4	UPDATED BLOCK NUMBERS	14/07/22
5	UPDATED BLOCK NUMBERS	19/07/22
6	NOTE CHANGED TO LIMITED POTENTIAL DEVELOPMENT BLOCKS	08/10/22

REV	DESCRIPTION	DATE
1	LEGEND UPDATED	12/03/21
2	GENERAL AMENDMENTS	12/03/21
3	ADDED NEW/EXISTING SUBSTATION LOCATIONS	21/04/22
4	UPDATED BLOCK NUMBERS	14/07/22
5	UPDATED BLOCK NUMBERS	19/07/22
6	NOTE CHANGED TO LIMITED POTENTIAL DEVELOPMENT BLOCKS	08/10/22

SCALE (METRES): 1:1000

PROJECT NO.:

CAPITAL ESTATE DEVELOPMENTS

Denman Prospect

PROJECT: DENMAN PROSPECT STAGE 2E

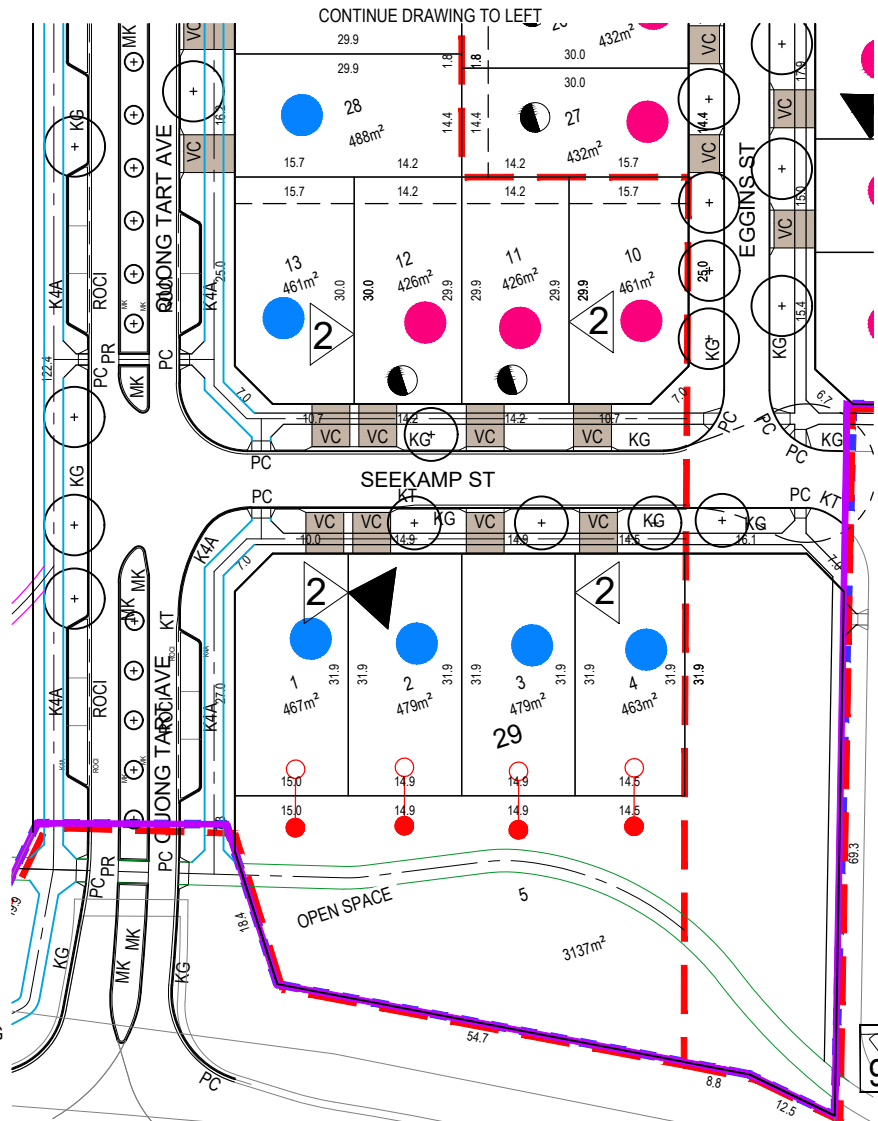
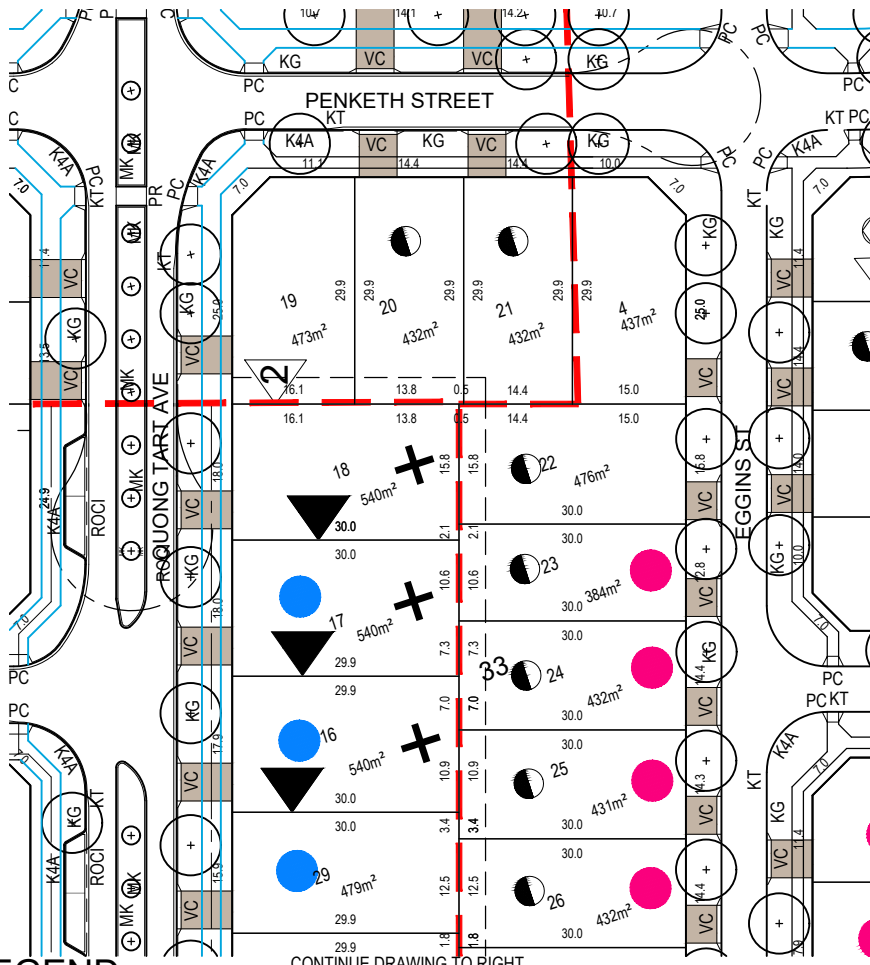
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BLOCK DETAILS PLAN SHEET 5 OF 9

DRAWING NUMBER: 15-003035.6-BP05+

REVISED: H



LEGEND

- STAGE BOUNDARY
- DRIVEWAY
- INDICATIVE MU SITE DRIVEWAY
- 42** SECTION IDENTIFIER
- 16** BLOCK IDENTIFIER
- 594m²** BLOCK AREA
- 15.416** BLOCK DIMENSIONS
- INDICATIVE TREE LOCATIONS
- COMBINED SERVICE EASEMENT 3.5m WIDE
- BLOCK 500m²-549m². R21 OF THE SINGLE DWELLING HOUSING DEVELOPMENT CODE APPLIES
- NEW/EXISTING SUBSTATION LOCATION
- MINIMUM 0m GARAGE SETBACK
- MINIMUM 1m GARAGE SETBACK
- MINIMUM 1.5m GARAGE SETBACK
- MANDATORY SIDE BOUNDARY 2
- SURVEILLANCE UNITS
- LIMITED POTENTIAL DEVELOPMENT BLOCKS

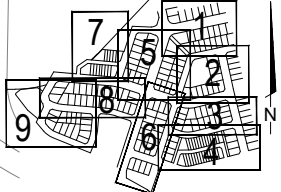
BLOCK REQUIRES UTILITY MAINTENANCE ACCESS EASEMENT. MAINTENANCE AND EMERGENCY ACCESS ROUTES ARE REQUIRED WHERE SEWERAGE MAINS ARE LOCATED ON LEASED LAND AND BUYERS MUST COMPLY WITH THE REQUIREMENTS OF UTILITY PROVIDERS LAW. CONTACT ICON WATER ON (02) 662483111 OR talktous@iconwater.com.au FOR FURTHER INFORMATION.

BAL 12.5 / BAL 29 BUILDINGS LOCATED IN A DESIGNATED BUSHFIRE PRONE AREA ARE TO BE CONSTRUCTED IN ACCORDANCE WITH AS 3959-2009 (NATIONAL CONSTRUCTION CODE VOLUME 2, 3.7.4 BUSHFIRE AREAS)

- COURTYARD WALL CONTROL
- PEDESTRIAN ACCESS REQUIRED MINIMUM OF ONE GATE ACCESS TO BE PROVIDED

NOTES:

- PLAN SUBJECT TO SURVEY- FINAL DIMENSIONS AREAS & BLOCK NUMBERS TO BE OBTAINED FROM DEPOSITED PLANS AND DISTANCES ARE IN METRES.
- POSITION OF HYDRAULIC & ELECTRICAL SERVICES TO BE CONFIRMED BY ENGINEERING PLANS.

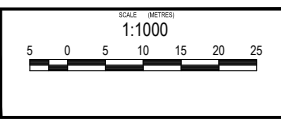


KEY PLAN

REV	DATE	BY	CHECK	DESCRIPTION
1	13/07/22	AM	AM	1m GARAGE SETBACK REMOVED IN 40/33 & 12/23
2	21/07/22	SR	AM	ADDED NEW/EXISTING SUBSTATION LOCATIONS
3	24/07/22	SR	AM	UPDATED BLOCK NUMBERS
4	19/07/22	AM	AM	UPDATED BLOCK NUMBERS
5	08/10/22	AM	AM	NOTE CHANGED TO LIMITED POTENTIAL DEVELOPMENT BLOCKS
6	01/01/23	JG	JER	EASEMENT ADDED

DATE	SCALE	CLIENT	PROJECT
13/07/22	1:1000	CAPITAL ESTATE	DENMAN PROSPECT
			STAGE 2E

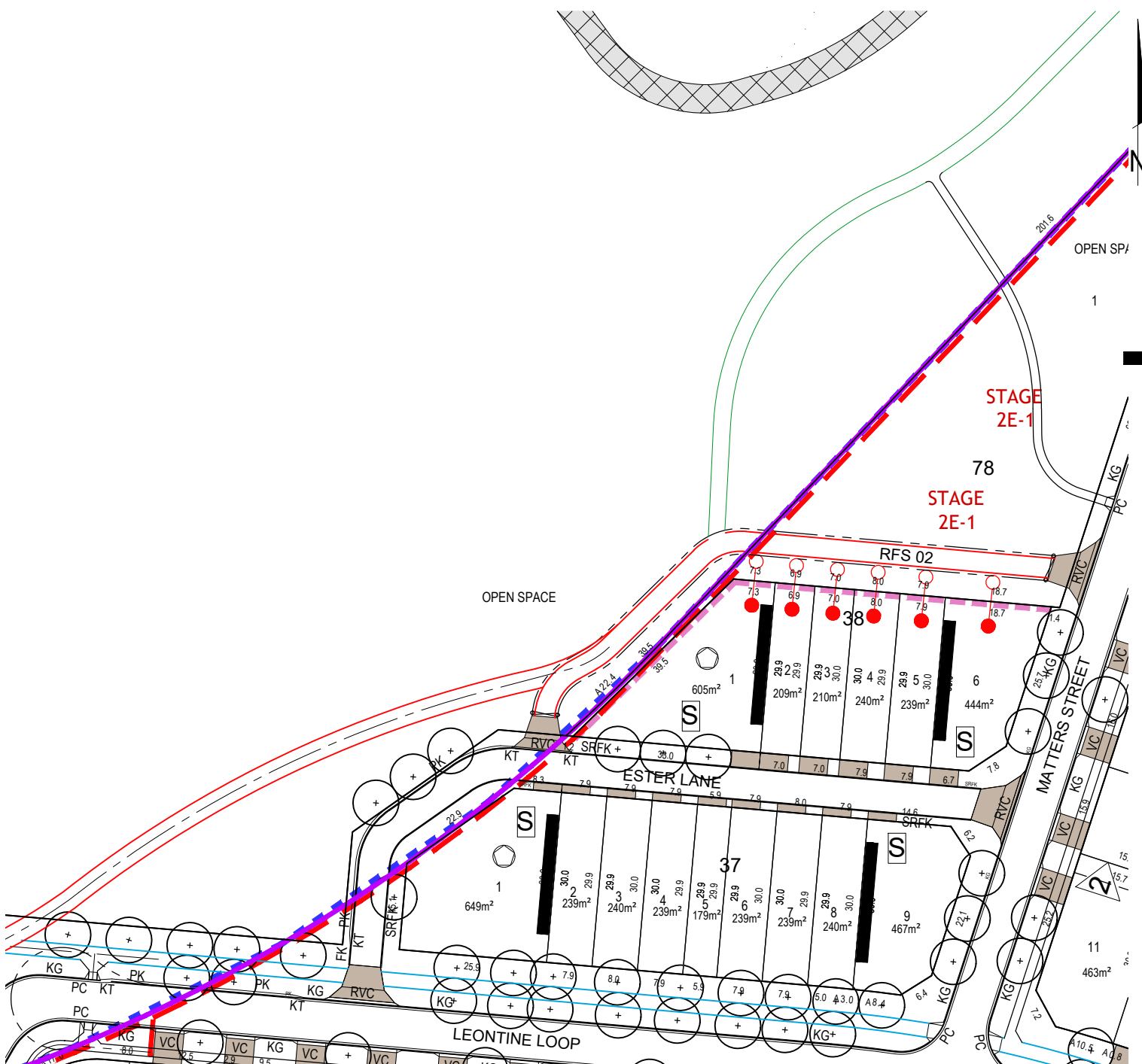
DATE:	13/07/22
PROJECT NO.:	



CLIENT: CAPITAL ESTATE
 PROJECT: DENMAN PROSPECT STAGE 2E

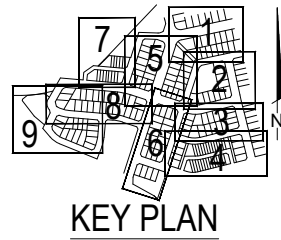
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DRAWING TITLE	
BLOCK DETAILS PLAN SHEET 6 OF 9	
DRAWING NUMBER	15-003035.6-BP06+
REVISION	L



LEGEND

- STAGE BOUNDARY
- DRIVEWAY
- INDICATIVE MU SITE DRIVEWAY
- 42** SECTION IDENTIFIER
- 16** BLOCK IDENTIFIER
- 594m²** BLOCK AREA
- 15.416** BLOCK DIMENSIONS
- INDICATIVE TREE LOCATIONS
- COMBINED SERVICE EASEMENT 3.5m WIDE
- ZERO SETBACK TO BOUNDARY: UPPER AND LOWER FLOOR LEVEL
- +** BLOCK 500m²-549m². R21 OF THE SINGLE DWELLING HOUSING DEVELOPMENT CODE APPLIES
- NEW/EXISTING SUBSTATION LOCATION
- MINIMUM 0m GARAGE SETBACK
- MINIMUM 1m GARAGE SETBACK
- MINIMUM 1.5m GARAGE SETBACK
- MANDATORY SIDE BOUNDARY 2
- SURVEILLANCE UNITS
- BLOCK REQUIRES UTILITY MAINTENANCE ACCESS EASEMENT. MAINTENANCE AND EMERGENCY ACCESS ROUTES ARE REQUIRED WHERE SEWERAGE MAINS ARE LOCATED ON LEASED LAND AND BUYERS MUST COMPLY WITH THE REQUIREMENTS OF UTILITY PROVIDERS LAW. CONTACT ICON WATER ON (02) 662483111 OR talktous@iconwater.com.au FOR FURTHER INFORMATION.
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- COURTYARD WALL CONTROL
- PEDESTRIAN ACCESS REQUIRED MINIMUM OF ONE GATE ACCESS TO BE PROVIDED
- LIMITED POTENTIAL DEVELOPMENT BLOCKS

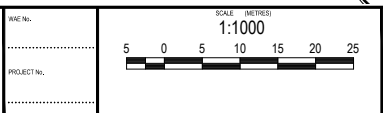


NOTES:

- PLAN SUBJECT TO SURVEY- FINAL DIMENSIONS AREAS & BLOCK NUMBERS TO BE OBTAINED FROM DEPOSITED PLANS AND DISTANCES ARE IN METRES.
- POSITION OF HYDRAULIC & ELECTRICAL SERVICES TO BE CONFIRMED BY ENGINEERING PLANS.

FIRST ISSUE	DESIGN	DRAWN	CHECK	APPROVED	DATE	AMENDMENT DETAILS
A	DC	EH	NPB	NPB	16/07/15	GENERAL AMENDMENTS
B	DR	JG	AM	AM	21/08/22	ADDED NEW/EXISTING SUBSTATION LOCATIONS
F	JER	SR	JER	JER	14/07/22	UPDATED BLOCK NUMBERS
G	JER	AM	AM	AM	19/07/22	UPDATED BLOCK NUMBERS
H	JER	AM	AM	AM	26/10/22	NOTE CHANGED TO LIMITED POTENTIAL DEVELOPMENT BLOCKS
I	JER	JG	HH	JER	31/01/23	EASEMENT ADDED

WAE No.	
PROJECT No.	



CLIENT: CAPITAL ESTATE DEVELOPMENTS Denman Prospect

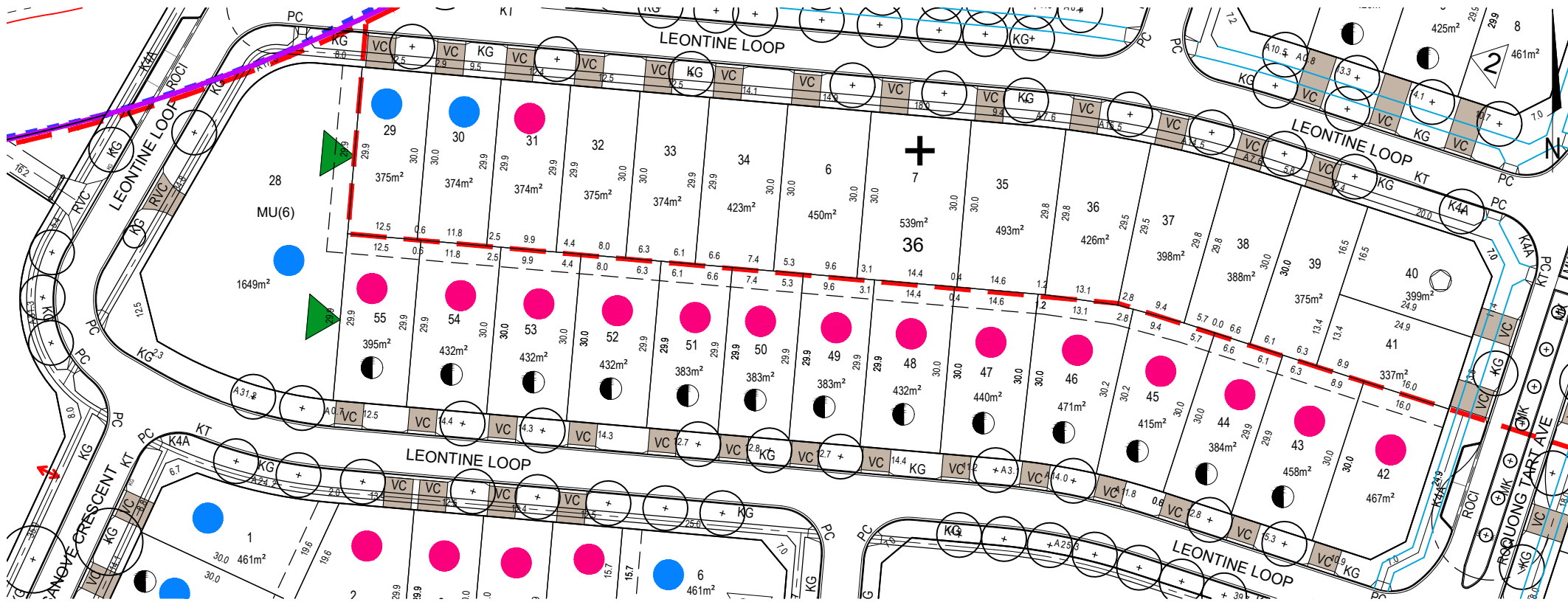
PROJECT: DENMAN PROSPECT STAGE 2E

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DRAWING TITLE: BLOCK DETAILS PLAN SHEET 7 OF 9

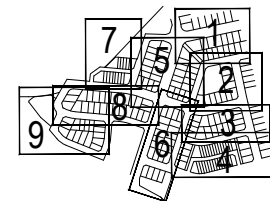
DRAWING NUMBER: 15-003035.6-BP07+

AMEND: J



LEGEND

- STAGE BOUNDARY
- DRIVEWAY
- INDICATIVE MU SITE DRIVEWAY
- 42** SECTION IDENTIFIER
- 16** BLOCK IDENTIFIER
- 594m²** BLOCK AREA
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- NEW/EXISTING SUBSTATION LOCATION
- MINIMUM 0m GARAGE SETBACK
- MINIMUM 1m GARAGE SETBACK
- MINIMUM 1.5m GARAGE SETBACK
- MANDATORY SIDE BOUNDARY 2
- SURVEILLANCE UNITS
- PEDESTRIAN ACCESS REQUIRED
MINIMUM OF ONE GATE ACCESS TO BE PROVIDED
- LIMITED POTENTIAL DEVELOPMENT BLOCKS
- MINIMUM 1.5m SETBACK - LOWER & FIRST UPPER FLOOR
MINIMUM 3.0m SETBACK - SECOND UPPER FLOOR
- BLOCK REQUIRES UTILITY MAINTENANCE ACCESS EASEMENT. MAINTENANCE AND EMERGENCY ACCESS ROUTES ARE REQUIRED WHERE SEWERAGE MAINS ARE LOCATED ON LEASED LAND AND BUYERS MUST COMPLY WITH THE REQUIREMENTS OF UTILITY PROVIDERS LAW. CONTACT ICON WATER ON (02) 662483111 OR talktous@iconwater.com.au FOR FURTHER INFORMATION.
- BAL 12.5 / BAL 29 BUILDINGS LOCATED IN A DESIGNATED BUSHFIRE PRONE AREA ARE TO BE CONSTRUCTED IN ACCORDANCE WITH AS 3959-2009 (NATIONAL CONSTRUCTION CODE VOLUME 2, 3.7.4 BUSHFIRE AREAS)



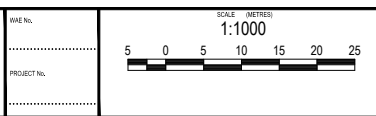
KEY PLAN

NOTES:

- PLAN SUBJECT TO SURVEY- FINAL DIMENSIONS AREAS & BLOCK NUMBERS TO BE OBTAINED FROM DEPOSITED PLANS AND DISTANCES ARE IN METRES.
- POSITION OF HYDRAULIC & ELECTRICAL SERVICES TO BE CONFIRMED BY ENGINEERING PLANS.

REV	DESIGN	DRAWN	CHECK	APPROVED	DATE	AMENDMENT DETAILS
A	DR	JG	AM	NPB	12/11/18	GENERAL AMENDMENTS
G	JER	SR	JER	NPB	21/07/22	ADDED NEW/EXISTING SUBSTATION LOCATIONS
H	JER	SR	JER	NPB	14/07/22	UPDATED BLOCK NUMBERS
I	JER	SR	JER	NPB	19/07/22	UPDATED BLOCK NUMBERS
J	JER	SR	JER	NPB	18/10/22	NOTE CHANGED TO LIMITED POTENTIAL DEVELOPMENT BLOCKS
K	JER	JG	HH	JER	31/01/23	EASEMENT ADDED

W/E NO.	
PROJECT NO.	



CLIENT: **CAPITAL ESTATE DEVELOPMENTS** **Denman Prospect**

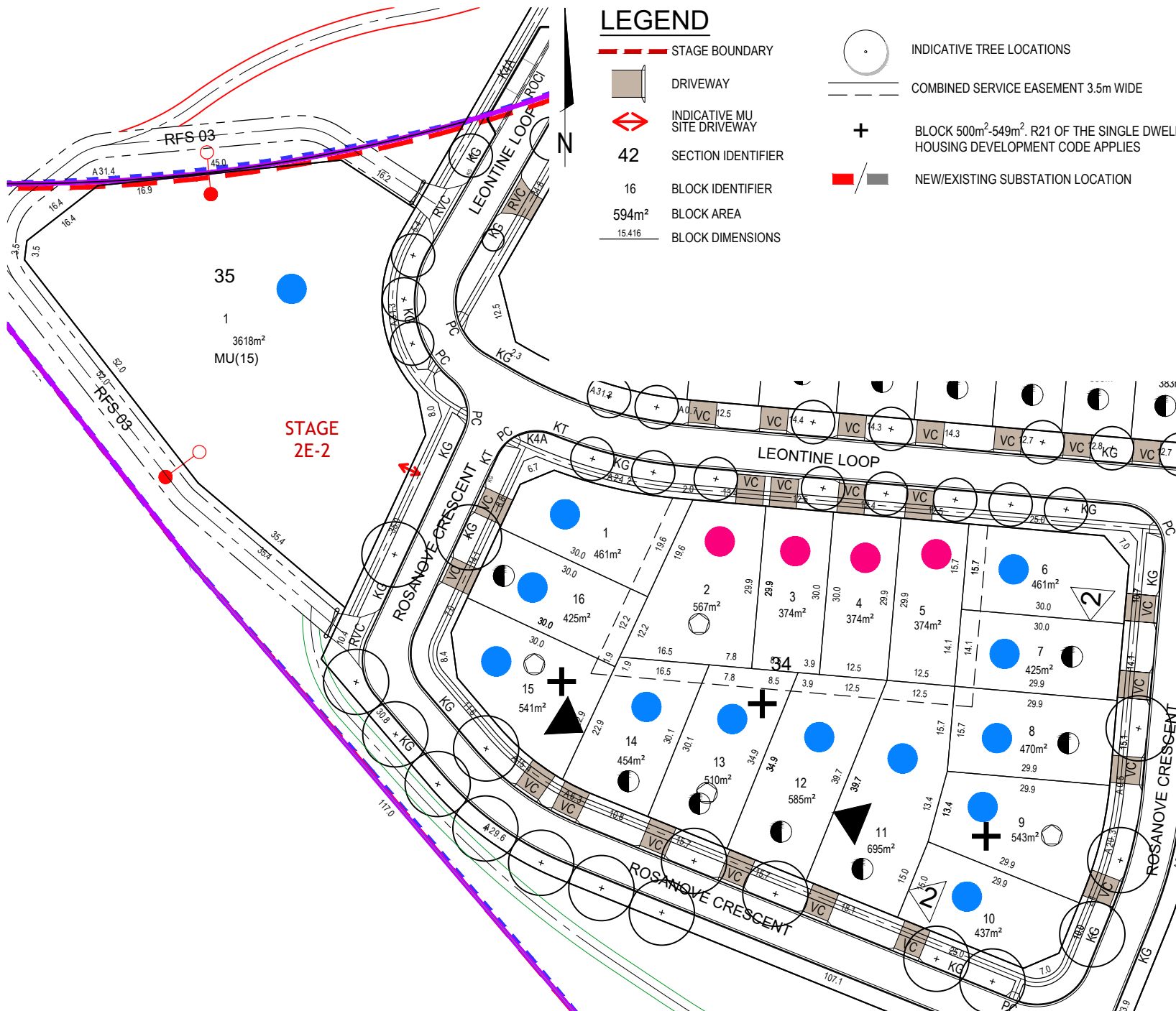
PROJECT: **DENMAN PROSPECT STAGE 2E**

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DRAWING TITLE: **BLOCK DETAILS PLAN SHEET 8 OF 9**

DRAWING NUMBER: **15-003035.6-BP08+**

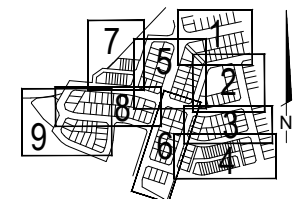
AMEND: **K**



LEGEND

- STAGE BOUNDARY
- DRIVEWAY
- INDICATIVE MU SITE DRIVEWAY
- 42** SECTION IDENTIFIER
- 16** BLOCK IDENTIFIER
- 594m²** BLOCK AREA
- 15.416** BLOCK DIMENSIONS
- INDICATIVE TREE LOCATIONS
- COMBINED SERVICE EASEMENT 3.5m WIDE
- +** BLOCK 500m²-549m², R21 OF THE SINGLE DWELLING HOUSING DEVELOPMENT CODE APPLIES
- NEW/EXISTING SUBSTATION LOCATION

- MINIMUM 0m GARAGE SETBACK
- MINIMUM 1m GARAGE SETBACK
- MINIMUM 1.5m GARAGE SETBACK
- MANDATORY SIDE BOUNDARY 2
- SURVEILLANCE UNITS
- BLOCK REQUIRES UTILITY MAINTENANCE ACCESS EASEMENT. MAINTENANCE AND EMERGENCY ACCESS ROUTES ARE REQUIRED WHERE SEWERAGE MAINS ARE LOCATED ON LEASED LAND AND BUYERS MUST COMPLY WITH THE REQUIREMENTS OF UTILITY PROVIDERS LAW. CONTACT ICON WATER ON (02) 662483111 OR talktous@iconwater.com.au FOR FURTHER INFORMATION.
- BAL 12.5 / BAL 29 BUILDINGS LOCATED IN A DESIGNATED BUSHFIRE PRONE AREA ARE TO BE CONSTRUCTED IN ACCORDANCE WITH AS 3959-2009 (NATIONAL CONSTRUCTION CODE VOLUME 2, 3.7.4 BUSHFIRE AREAS)
- COURTYARD WALL CONTROL
- PEDESTRIAN ACCESS REQUIRED MINIMUM OF ONE GATE ACCESS TO BE PROVIDED
- LIMITED POTENTIAL DEVELOPMENT BLOCKS



KEY PLAN

- NOTES:**
- PLAN SUBJECT TO SURVEY- FINAL DIMENSIONS AREAS & BLOCK NUMBERS TO BE OBTAINED FROM DEPOSITED PLANS AND DISTANCES ARE IN METRES.
 - POSITION OF HYDRAULIC & ELECTRICAL SERVICES TO BE CONFIRMED BY ENGINEERING PLANS.

REV	DATE	BY	CHKD	APPD	DESCRIPTION	
A	12/18	F	DR	JG	AM	GENERAL AMENDMENTS
B	12/21	G	JER	SR	JE	ADDED NEW/EXISTING SUBSTATION LOCATIONS
C	21/02	H	JER	SR	JE	UPDATED BLOCK NUMBERS
D	14/07/22	I	JER	SR	JE	UPDATED BLOCK NUMBERS
E	19/07/22	J	JER	SR	JE	NOTE CHANGED TO LIMITED POTENTIAL DEVELOPMENT BLOCKS
F	28/10/22	K	JER	SR	JE	EASEMENT ADDED

AMENDMENT DETAILS	DATE	BY	CHKD	APPD
GENERAL AMENDMENTS	12/18	F	DR	JG
ADDED NEW/EXISTING SUBSTATION LOCATIONS	12/21	G	JER	SR
UPDATED BLOCK NUMBERS	14/07/22	H	JER	SR
UPDATED BLOCK NUMBERS	19/07/22	I	JER	SR
NOTE CHANGED TO LIMITED POTENTIAL DEVELOPMENT BLOCKS	28/10/22	J	JER	SR
EASEMENT ADDED	31/01/23	K	JER	SR

SCALE: METRES
1:1000

CLIENT: CAPITAL ESTATE DEVELOPMENTS
PROJECT: DENMAN PROSPECT STAGE 2E

CLIENT: **Denman Prospect**
PROJECT: DENMAN PROSPECT STAGE 2E

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DRAWING TITLE: BLOCK DETAILS PLAN SHEET 9 OF 9

DRAWING NUMBER: 15-003035.6-BP09+

AVENUE: K