

file name: 308664CS001.dwg, layout name: CS000, plotted by: Rachel Murdock, file location: \\spire\caddata\lra\30\308664\Civil\ACAD\State Plans\Stage 1 & 2 plot, date: 20/09/2021 14:12 PM, Sheet 1 of 2 Sheets

## LEGEND

STAGE BOUNDARY	-----
BLOCK SECTION AND IDENTIFIER	<b>BA a</b>
BLOCK AREA / BOUNDARY LENGTH	400m <sup>2</sup> 4.54
3.5m COMBINED EASEMENT (Sewer and Stormwater)	-----
MANDATORY SIDE BOUNDARY 2 GARAGE LOCATION	
MINIMUM 0.0m SETBACK - GARAGE/CARPORT ONLY - side boundary setbacks apply for a maximum wall length of 8m	
MINIMUM 0.9m SETBACK - GARAGE/CARPORT ONLY - The maximum wall length of 8m	
MINIMUM 1.0m SETBACK - GARAGE/CARPORT ONLY - The maximum wall length of 8m	
MINIMUM 4.5m SETBACK - GARAGE ONLY	
BUILT FORM SETBACKS	
MINIMUM SETBACK 4m - ALL FLOORS	
MINIMUM SETBACK 1.5m (UPPER FLOOR LEVEL ONLY) - side boundary setbacks apply to the upper floor level to the nominated boundary within the Primary Building Zone only - Unscreened element for upper floor walls at nominated setbacks apply as per the relevant Territory Plan code	
MINIMUM 0.0m SETBACK - ALL FLOORS - Setbacks apply to all floor levels to the nominated boundary within the Primary Building Zone only - Unscreened element for walls at nominated setbacks apply as per the relevant Territory Plan code	
MINIMUM 1.0m SETBACK - UPPER FLOOR LEVEL ONLY - Side boundary setbacks apply to the upper floor level to the nominated boundary within the Primary Building Zone only - Unscreened element for upper floor walls at nominated setbacks apply as per the relevant Territory Plan code	
MINIMUM 1.5m SETBACK - ALL FLOORS - Side boundary setbacks apply to all floor levels to the nominated boundary within the Primary Building Zone only. - Unscreened element for upper floor walls at nominated setbacks apply as per the relevant Territory Plan code	
MINIMUM 3.0m SETBACK - ALL FLOORS	
LIMITED DEVELOPMENT OPPORTUNITY	
MANDATORY MINIMUM 2 STOREYS	
MANDATORY 3 STOREYS	
MAXIMUM 2 STOREYS	
MAXIMUM 3 STOREYS	
MAXIMUM 4 STOREYS	
MANDATORY SURVEILLANCE BLOCK	

## LEGEND

MANDATORY SIDE BOUNDARY 2 - REFER SINGLE DWELLING HOUSING DEVELOPMENT CODE	
MID SIZED BLOCK (500m <sup>2</sup> - 549m <sup>2</sup> ). R21 OF THE SINGLE DWELLING HOUSING DEVELOPMENT CODE APPLIES	
VISITOR PARKING CONTROL - provide all visitor parking requirements as determined by the PARKING AND VEHICULAR ACCESS GENERAL CODE within the block	
POTENTIALLY NOISE AFFECTED BLOCK	
NO BUILD ZONE	
NO VEHICLE ACCESS PERMITTED	
INTEGRATED DEVELOPMENT PARCEL	
ALTERNATIVE PPOS DELIVERY PERMITTED - Principal Private Open Space permitted above the garage. All other PPOS requirements apply as per the relevant Territory Plan code	
STREETLIGHT	
STREET TREE	
DRIVEWAY LOCATION (RESIDENTIAL)	
HEAVY DUTY DRIVEWAY LOCATION	
INDICATIVE MULTI UNIT DRIVEWAY LOCATION	
INDICATIVE BUS STOP LOCATION	
SUBSTATION	
PATH (1.5 - 3.0m wide)	
UTILITY MAINTENANCE ACCESS EASEMENT Block requires utility maintenance access easement. Maintenance and emergency access routes are required where sewerage mains are located on leased land and buyers must comply with the requirements of utility providers law. Contact icon water on (02) 62483111 or talktous@iconwater.com.au for further information.	
BUILT FORM FEATURE Building feature to address the corner of the road and form a gateway feature into the Estate.	
KEY LOCATION FOR COMMERCIAL USE Such as cafe adjacent to the central park. The total limit of commercial GFA is 600m <sup>2</sup> , and a Commercial GFA of Max. 200m <sup>2</sup> per tenancy.	
DOUBLE FRONTAGE BUILT FORM FEATURE Blocks nominated to provide building response to both front boundaries via provision of habitable rooms that overlook both front boundaries.	
PEDESTRIAN ACCESS REQUIRED All front boundaries nominated must provide pedestrian access. Where multi unit site exceeds 10 dwellings multiple entries must be provided.	
BAL 12.5 BUILDING STANDARD TO AS 3959-2009	
GARAGE OPENING CONTROL Garage opening may exceed 50% of building facade width. Upper Floor must provide building articulation.	

## LEGEND

RETAINING WALL	
RAISED PLATFORM	

## LEGEND

## FRONT FENCING AND COURTYARD CONTROLS

### COURTYARD WALLS RULES FOR ALL BLOCKS (UNLESS NOMINATED OTHERWISE)

Courtyard Walls are permitted where Principal Private Open Space is located in the front zone. Courtyard walls are to comply with the following:

- Constructed only of brick, block or stonework, any of which may be combined with feature panels.
- Maximum height of 1.5m
- 0.7m minimum setback from the front boundary to facilitate a planting zone forward from the wall
- Where the length of wall exceeds 6m, it must be articulated by way of an increased setback for a gate and/or an articulated planting zone as follows:
  - a) Gate: A pedestrian gate entry must be setback a minimum 1.5m from front boundary
  - b) Articulated Planting Zone: An additional increased setback from the wall, of minimum of 1m.

### FRONT FENCES AND COURTYARD WALLS for nominated blocks addressing Urban Open Spaces

No fences permitted to nominated front boundary(s). Courtyard walls are permitted forward of the building zone and are to comply with the following:

- Constructed only of brick, block or stonework, any of which may be combined with feature panels.
- Maximum height of 1.8m.
- 0.5m minimum setback from the front boundary to facilitate a planting zone forward from the wall
- Where the length of the wall exceeds 5m, it must be articulated by way of an increased setback for a gate and/or articulated planting zone as follows:
  - a) Gate: a pedestrian gate entry must be setback a minimum 1.5m from front boundary.
  - b) Articulated Planting Zone: An additional increased setback from the wall, of a minimum of 1m.

### FRONT FENCES AND COURTYARD WALLS for nominated blocks fronting Open Spaces

Solid fences are not permitted. Courtyard walls are permitted forward of the building zone and are to comply with the following:

- Pedestrian access is mandatory and to be achieved by gates and/or pathway connections into the block.
- Constructed only of brick, block or stonework, any of which may be combined with feature panels.
- Maximum height of 1.8m.
- 1.0m minimum setback from the front boundary to facilitate a planting zone forward from the wall
- Where the length of the wall exceeds 6m, it must be articulated by way of an increased setback for a gate and/or articulated planting zone as follows:
  - a) Gate: a pedestrian gate entry must be setback a minimum 2.0m from front boundary.
  - b) Articulated Planting Zone: An additional increased setback from the wall, of a minimum of 1m.

### NO FENCING PERMITTED

No fencing permitted to nominated front boundary. Landscape boundary treatment only. Where multi unit site fronts open space, landscape treatment is to provide vehicular barrier.

### COMMUNITY GARDEN FENCE CONTROL

Pool type fence with rabbit proof chain link fence inlay. Maximum 1.5m height

## NOTES

1. BLOCK EASEMENTS, DIMENSIONS, AREAS AND NUMBERS ARE SUBJECT TO SURVEY. REFER TO DEPOSITED PLANS FOR CONFIRMATION OF DETAILS.

2. STREET TREES, STREET LIGHTS AND SUBSTATION LOCATIONS ARE INDICATIVE ONLY.

3. ALL DIMENSIONS ARE IN METRES.

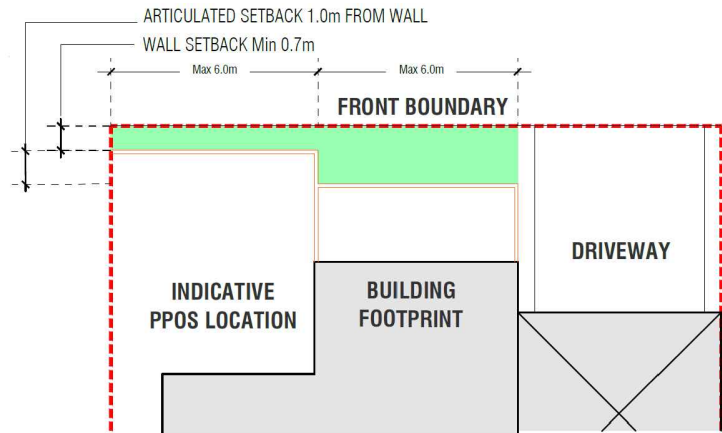


FIGURE 1. EXAMPLE - COURTYARD WALL, SHOWING ARTICULATED PLANTING ZONE SETBACK

PLANTING ZONE

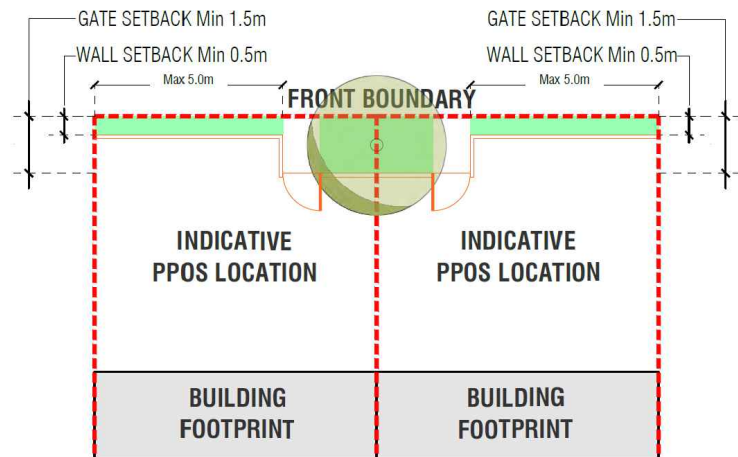


FIGURE 2. EXAMPLE - COURTYARD WALL LOCATION, SHOWING A TERRACE HOME FRONTING URBAN OPEN SPACE, WITH AN INCREASED SETBACK FOR A GATE ENTRY.

PLANTING ZONE TREE PLANTING GATE

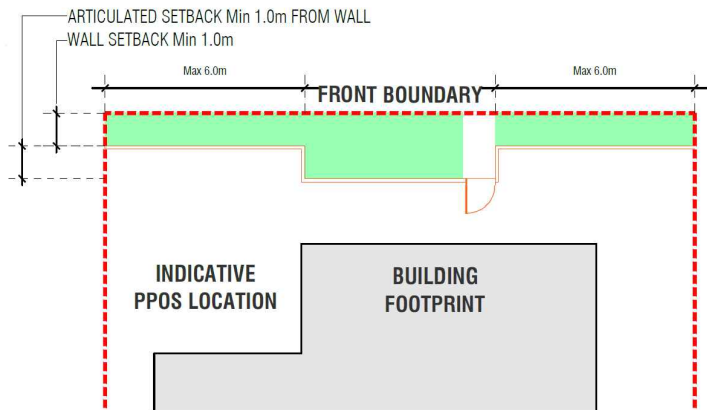
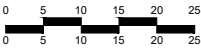


FIGURE 3. EXAMPLE - COURTYARD WALL, SHOWING A HOME FRONTING OPEN SPACE, WITH AN ARTICULATED GATE ENTRY AND PLANTING ZONE.

PLANTING ZONE GATE

C	BACK OF BLOCK WATER SERVICING ITEMS REMOVED FROM LEGEND	BC	20-09-21
B	AMENDED IN ACCORDANCE WITH CLIENT COMMENTS	BC	27-07-21
A	ISSUED TO CLIENT	BC	03-05-21
Rev	Amendments	Approved	Date

1:500@ A1  
SCALE  
1:1000@ A3



© Spiire Australia Pty Ltd All Rights Reserved  
This document is produced by Spiire Australia Pty Ltd solely for the benefit of and use by the client in accordance with the terms of the retainer. Spiire Australia Pty Ltd does not and shall not assume any responsibility or liability whatsoever to any third party arising out of any use or reliance by third party on the content of this document.

**spiire**

Suite 3, Level 1, 243 Northbourne Ave Lyneham 2602  
Australian Capital Territory Australia T 61 2 6102 1000  
spiire.com.au ABN 55 050 029 635

**CAPITAL ESTATE**  
DEVELOPMENTS

Designed  
**R. MURDOCK**  
Authorised  
**B. CARGILL**

**Denman**  
Prospect

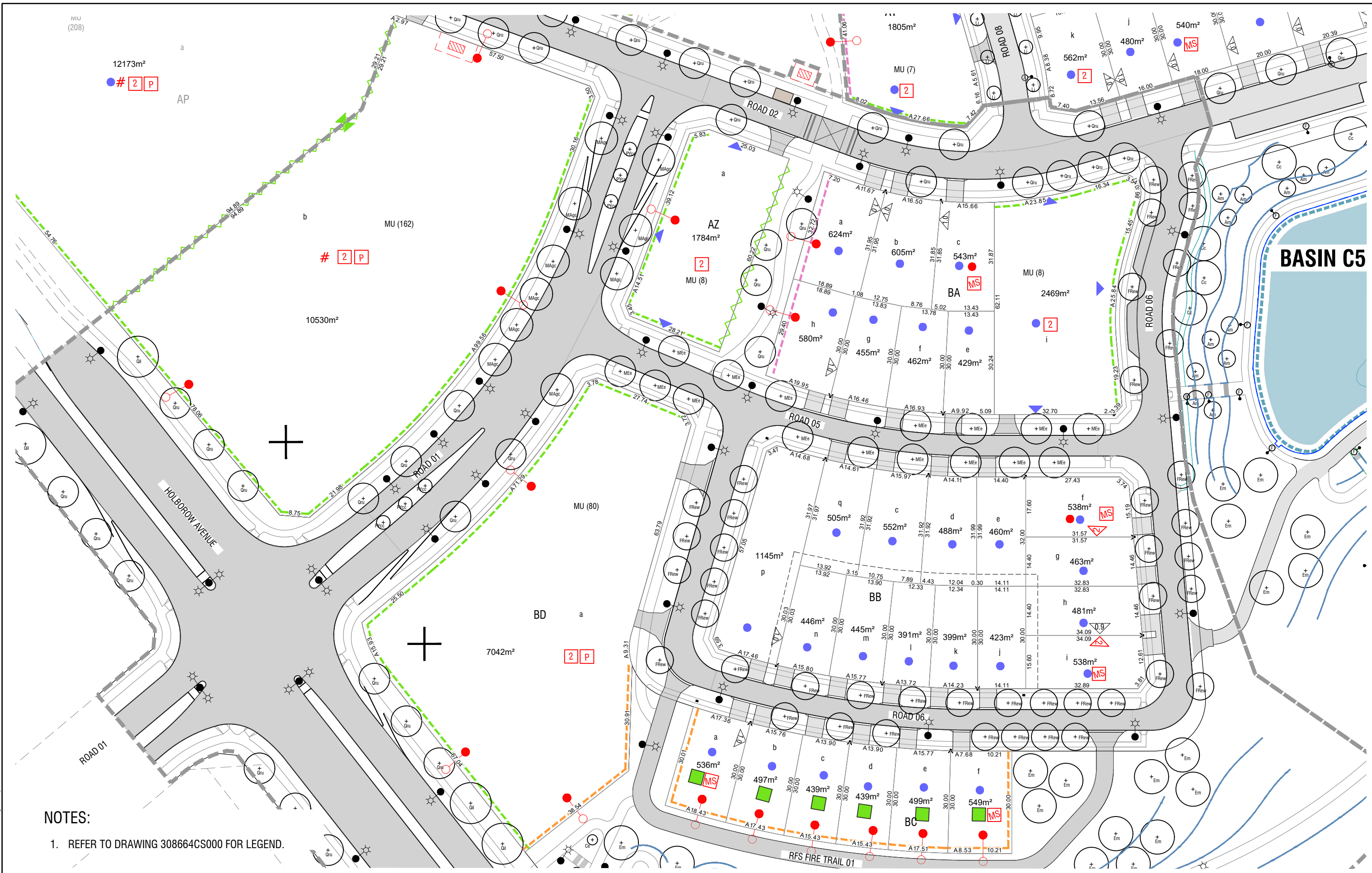
Checked  
**B. CARGILL**  
Date  
20-04-21

**DENMAN PROSPECT 2**  
**STAGES 1 2A & 2B**  
**BLOCK DETAIL PLAN**  
**LEGEND**  
ACT  
CED

Drg No  
**308664CS000**

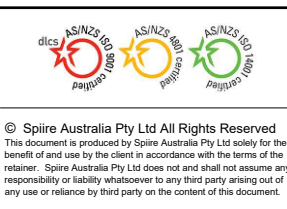
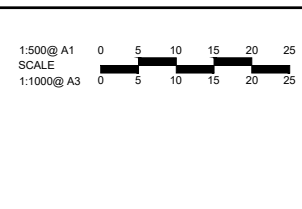
Rev  
**C**

file name: 308664CS001.dwg, layout name: CS001, plotted by: Rachel Murdoch,  
file location: \\spire\capdata\lata\30\308664\Civil\ACAD\Stage Plans\Stage 1 & 2 plot (date: 20/09/2021 14:12 PM) Sheet 1 of 2



NOTES:  
1. REFER TO DRAWING 308664CS000 FOR LEGEND.

Rev	Amendments	Approved	Date
B	BC WATER TIES MOVED TO FRONT OF BLOCK. VIEWPORT MOVED FOR STAGE CHANGE	BC	20-09-21
A	ISSUED TO CLIENT	BC	03-05-21



**spiire**  
Suite 3, Level 1, 243 Northbourne Ave Lyneham 2602  
Australian Capital Territory Australia T 61 2 6102 1000  
spiire.com.au ABN 55 050 029 635

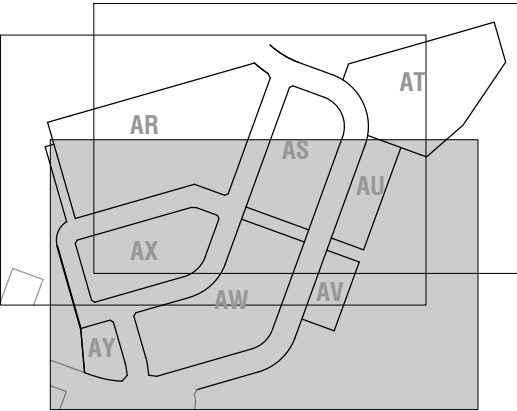
**CAPITAL ESTATE DEVELOPMENTS**  
Designed  
R. MURDOCK  
Authorised  
B. CARGILL  
Checked  
B. CARGILL  
Date  
20-04-21

**DENMAN PROSPECT 2**  
**STAGES 1 2A & 2B**  
**BLOCK DETAIL PLAN**  
**STAGE 1**  
**ACT**  
**CED**  
Drg No  
**308664CS001**  
Rev  
**B**





KEY PLAN

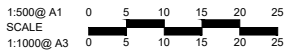


NOTES:

1. REFER TO DRAWING 308664CS000 FOR LEGEND.

file name: 308664CS001.dwg, layout name: CS010, plotted by: Rachel Murdoch, file location: \\spire\cad\data\308664\308664 Civil\ACAD\Stage Plans\Stage 1 & 2 plot (date: 20/09/2021 14:12 PM) Sheet 1 of 2

Rev	Amendments	Approved	Date
C	AV, AU WATER TIES MOVED TO FRONT OF BLOCK	BC	20-09-21
B	AMENDED IN ACCORDANCE WITH CLIENT COMMENTS	BC	27-07-21
A	ISSUED TO CLIENT	BC	07-05-21



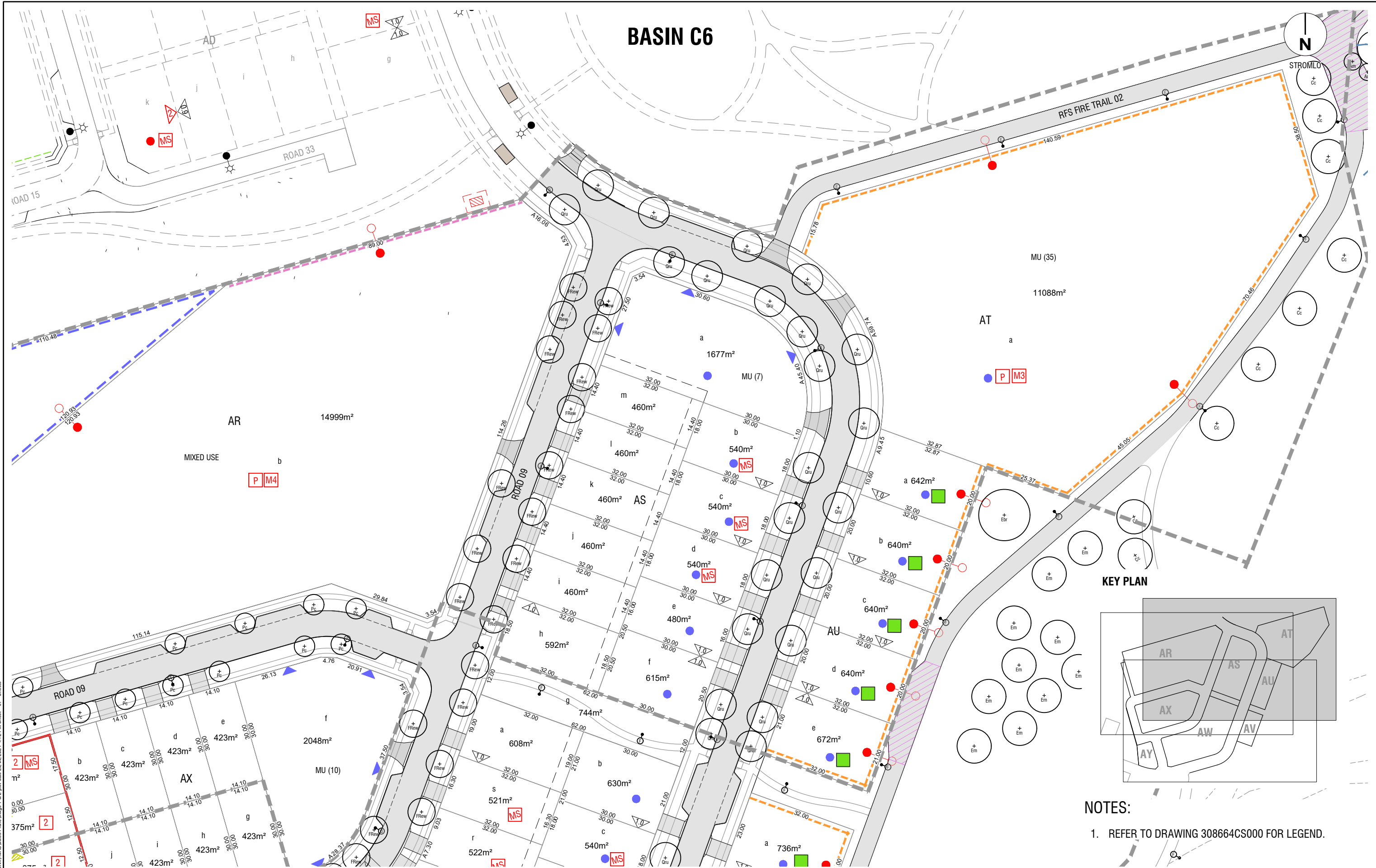
© Spiire Australia Pty Ltd All Rights Reserved  
This document is produced by Spiire Australia Pty Ltd solely for the benefit of and use by the client in accordance with the terms of the retainer. Spiire Australia Pty Ltd does not and shall not assume any responsibility or liability whatsoever to any third party arising out of any use or reliance by third party on the content of this document.

**spiire**  
Suite 3, Level 1, 243 Northbourne Ave Lyneham 2602  
Australian Capital Territory Australia T 61 2 6102 1000  
spiire.com.au ABN 55 050 029 635

**CAPITAL ESTATE DEVELOPMENTS**  
Designed  
R. MURDOCK  
Authorised  
B. CARGILL

**Denman Prospect**  
Checked  
B. CARGILL  
Date  
07-05-2021

**DENMAN PROSPECT 2**  
**STAGES 1 2A & 2B**  
**BLOCK DETAIL PLAN**  
**STAGE 2 - SECTION AX, AY, AW, AV**  
ACT  
CED  
Drg No  
**308664CS010**  
Rev  
**B**



NOTES:  
1. REFER TO DRAWING 308664CS000 FOR LEGEND.

C	AU WATER TIES MOVED TO FRONT OF BLOCK	BC	20-09-21
B	AMENDED IN ACCORDANCE WITH CLIENT COMMENTS	BC	27-07-21
A	ISSUED TO CLIENT	BC	07-05-21
Rev	Amendments	Approved	Date

1:500@ A1  
SCALE  
1:1000@ A3



© Spiire Australia Pty Ltd All Rights Reserved  
This document is produced by Spiire Australia Pty Ltd solely for the benefit of and use by the client in accordance with the terms of the retainer. Spiire Australia Pty Ltd does not and shall not assume any responsibility or liability whatsoever to any third party arising out of any use or reliance by third party on the content of this document.



Suite 3, Level 1, 243 Northbourne Ave Lyneham 2602  
Australian Capital Territory Australia T 61 2 6102 1000  
spiire.com.au ABN 55 050 029 635



Designed  
R. MURDOCK  
Authorised  
B. CARGILL



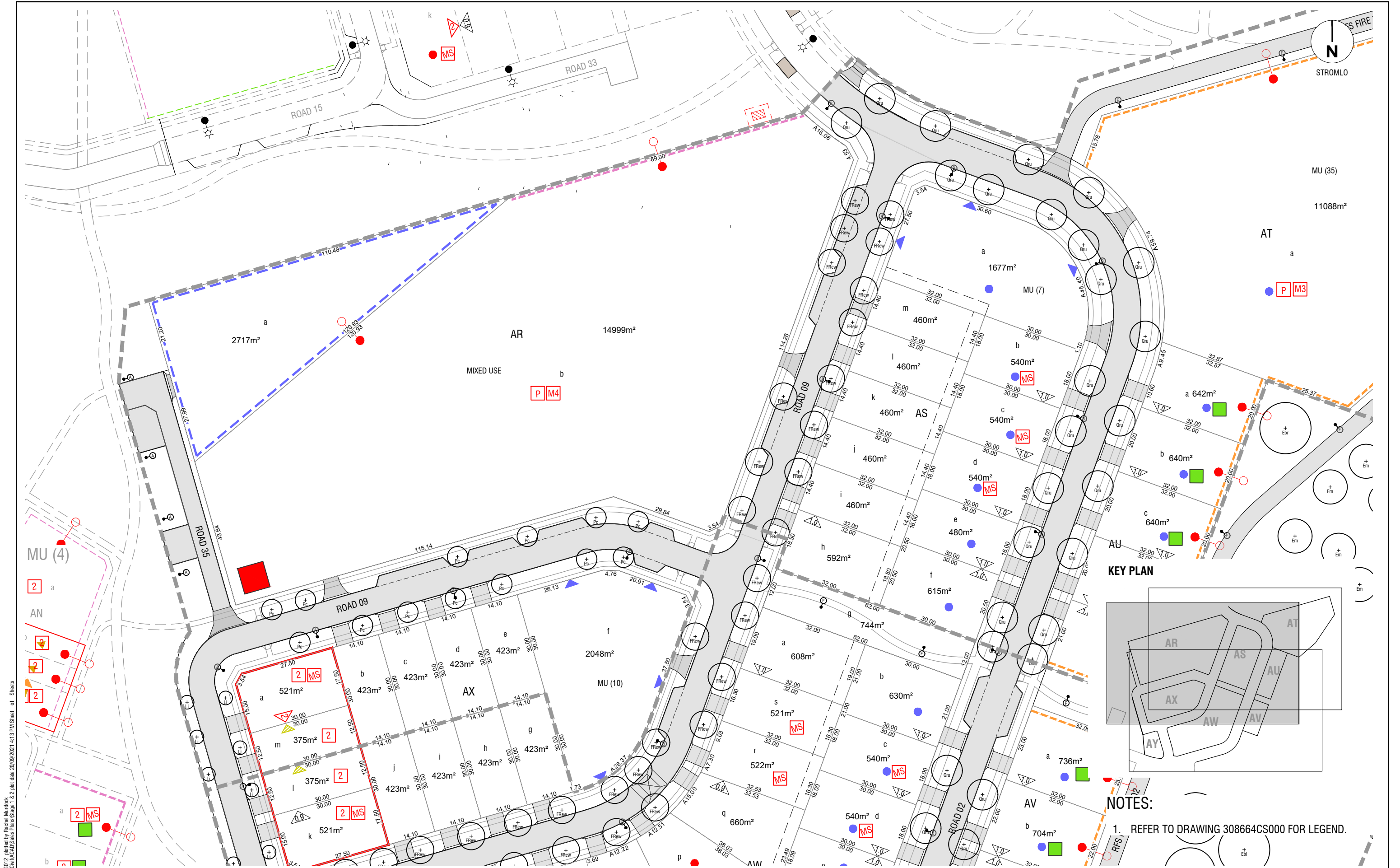
Checked  
B. CARGILL  
Date  
07-05-2021

DENMAN PROSPECT 2  
STAGES 1 2A & 2B  
BLOCK DETAIL PLAN  
STAGE 2 - SECTION AS, AU, AT

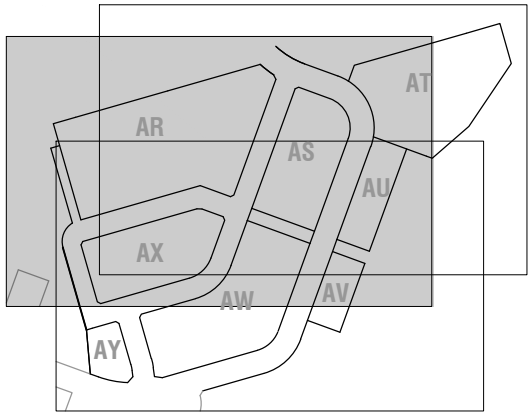
ACT  
CED

Drg No  
308664CS011  
Rev  
B





KEY PLAN



NOTES:

1. REFER TO DRAWING 308664CS000 FOR LEGEND.

file name: 308664CS001.dwg, layout name: CS012, plotted by: Rachel Murdock, file location: \\spire\capdata\lha\30\308664\Civil\ACAD\Stage Plans\Stage 1 & 2 plot (date: 20/09/2021 14:13 PM) Sheet 1 of 2 Sheets

B	AMENDED IN ACCORDANCE WITH CLIENT COMMENTS	BC	27-07-21
A	ISSUED TO CLIENT	BC	10-05-21
Rev	Amendments	Approved	Date

1:500@ A1  
SCALE  
1:1000@ A3



© Spiire Australia Pty Ltd All Rights Reserved  
This document is produced by Spiire Australia Pty Ltd solely for the benefit of and use by the client in accordance with the terms of the retainer. Spiire Australia Pty Ltd does not and shall not assume any responsibility or liability whatsoever to any third party arising out of any use or reliance by third party on the content of this document.



Suite 3, Level 1, 243 Northbourne Ave Lyneham 2602  
Australian Capital Territory Australia T 61 2 6102 1000  
spiire.com.au ABN 55 050 029 635



Designed  
R. MURDOCK  
Authorised  
B. CARGILL



Checked  
B. CARGILL  
Date  
07-05-2021

DENMAN PROSPECT 2  
STAGES 1 2A & 2B  
BLOCK DETAIL PLAN  
STAGE 2 - SECTION AR

ACT

CED

Drg No  
308664CS012

Rev  
B