

LEGEND

STAGE BOUNDARY	-----	MANDATORY SIDE BOUNDARY 2 - REFER SINGLE DWELLING HOUSING DEVELOPMENT CODE	
BLOCK SECTION AND IDENTIFIER	BA a	MID SIZED BLOCK (500m ² - 54.9m ²). R21 OF THE SINGLE DWELLING HOUSING DEVELOPMENT CODE APPLIES	
BLOCK AREA / BOUNDARY LENGTH	4,00m ² 4.54	VISITOR PARKING CONTROL - provide all visitor parking requirements as determined by the PARKING AND VEHICULAR ACCESS GENERAL CODE within the block	
3.5m COMBINED EASEMENT (Sewer and Stormwater)	-----	POTENTIALLY NOISE AFFECTED BLOCK	
MANDATORY SIDE BOUNDARY 2 GARAGE LOCATION	-----	NO BUILD ZONE	
MINIMUM 0.0m SETBACK - GARAGE/CARPORT ONLY - side boundary setbacks apply for a maximum wall length of 8m		NO VEHICLE ACCESS PERMITTED AS PER AS2890.1 FIG 3.1	
MINIMUM 0.9m SETBACK - GARAGE/CARPORT ONLY - The maximum wall length of 8m		INTEGRATED DEVELOPMENT PARCEL	
MINIMUM 1.0m SETBACK - GARAGE/CARPORT ONLY - The maximum wall length of 8m		ALTERNATIVE PPOS DELIVERY PERMITTED -Principal Private Open Space permitted above the garage. All other PPOS requirements apply as per the relevant Territory Plan code	
MINIMUM 4.5m SETBACK - GARAGE ONLY		STREETLIGHT	
BUILT FORM SETBACKS		STREET TREE	
MINIMUM SETBACK 4m - ALL FLOORS		DRIVEWAY LOCATION (RESIDENTIAL)	
MINIMUM SETBACK 1.5m (UPPER FLOOR LEVEL ONLY) - side boundary setbacks apply to the upper floor level to the nominated boundary within the Primary Building Zone only		HEAVY DUTY DRIVEWAY LOCATION	
- Unscreened element for upper floor walls at nominated setbacks apply as per the relevant Territory Plan code		INDICATIVE MULTI UNIT DRIVEWAY LOCATION	
MINIMUM 0.0m SETBACK - ALL FLOORS		INDICATIVE BUS STOP LOCATION	
- Setbacks apply to all floor levels to the nominated boundary within the Primary Building Zone only		SUBSTATION	
- Unscreened element for walls at nominated setbacks apply as per the relevant Territory Plan code		PATH (1.5 - 3.0m wide)	
MINIMUM 1.0m SETBACK - UPPER FLOOR LEVEL ONLY		UTILITY MAINTENANCE ACCESS EASEMENT	
- Side boundary setbacks apply to the upper floor level to the nominated boundary within the Primary Building Zone only		Block requires utility maintenance access easement. Maintenance and emergency access routes are required where sewerage mains are located on leased land and buyers must comply with the requirements of utility providers law. Contact Icon Water on (02) 62483111 or talktous@iconwater.com.au for further information.	
- Unscreened element for upper floor walls at nominated setbacks apply as per the relevant Territory Plan code		BUILT FORM FEATURE	
MINIMUM 1.5m SETBACK - ALL FLOORS		Building feature to address the corner of the road and form a gateway feature into the Estate.	
- Side boundary setbacks apply to all floor levels to the nominated boundary within the Primary Building Zone only		KEY LOCATION FOR COMMERCIAL USE	
- Unscreened element for upper floor walls at nominated setbacks apply as per the relevant Territory Plan code		Such as cafe adjacent to the central park. The total limit of commercial GFA is 600m ² , and a Commercial GFA of Max. 200m ² per tenancy.	
MINIMUM 3.0m SETBACK - ALL FLOORS		DOUBLE FRONTAGE BUILT FORM FEATURE	
- Side boundary setbacks apply to all floor levels to the nominated boundary within the Primary Building Zone only		Blocks nominated to provide building response to both front boundaries via provision of habitable rooms that overlook both front boundaries.	
MANDATORY MINIMUM 2 STOREYS		PEDESTRIAN ACCESS REQUIRED	
MANDATORY 3 STOREYS		All front boundaries nominated must provide pedestrian access. Where multi unit site exceeds 10 dwellings multiple entries must be provided.	
MAXIMUM 2 STOREYS		BAL 12.5 BUILDING STANDARD TO AS 3959-2009	
MAXIMUM 3 STOREYS		GARAGE OPENING CONTROL	
MAXIMUM 4 STOREYS		Garage opening may exceed 50% of building facade width. Upper Floor must provide building articulation.	
MANDATORY SURVEILLANCE BLOCK			

WATER METER ENCLOSURE (2mx2m) OR WATER METER CABINET AS PER ICON WATER SD 3307-C



RETAINING WALL



RAISED PLATFORM



FRONT FENCING AND COURTYARD CONTROLS

COURTYARD WALLS RULES FOR ALL BLOCKS (UNLESS NOMINATED OTHERWISE)

Courtyard Walls are permitted where Principal Private Open Space is located in the front zone. Courtyard walls are to comply with the following:

- Constructed only of brick, block or stonework, any of which may be combined with feature panels.
- Maximum height of 1.5m
- 0.7m minimum setback from the front boundary to facilitate a planting zone forward from the wall
- Where the length of wall exceeds 6m, it must be articulated by way of an increased setback for a gate and/or an articulated planting zone as follows:

- a) Gate: A pedestrian gate entry must be setback a minimum 1.5m from front boundary
- b) Articulated Planting Zone: An additional increased setback from the wall, of minimum of 1m.

FRONT FENCES AND COURTYARD WALLS for nominated blocks addressing Urban Open Spaces

No fences permitted to nominated front boundary(s). Courtyard walls are permitted forward of the building zone and are to comply with the following:

- Constructed only of brick, block or stonework, any of which may be combined with feature panels.
- Maximum height of 1.8m.
- 0.5m minimum setback from the front boundary to facilitate a planting zone forward from the wall
- Where the length of the wall exceeds 5m, it must be articulated by way of an increased setback for a gate and/or articulated planting zone as follows:

- a) Gate: a pedestrian gate entry must be setback a minimum 1.5m from front boundary.
- b) Articulated Planting Zone: An additional increased setback from the wall, of a minimum of 1m.

FRONT FENCES AND COURTYARD WALLS for nominated blocks fronting Open Spaces

Solid fences are not permitted. Courtyard walls are permitted forward of the building zone and are to comply with the following:

- Pedestrian access is mandatory and to be achieved by gates and/or pathway connections into the block.
- Constructed only of brick, block or stonework, any of which may be combined with feature panels.
- Maximum height of 1.8m.
- 1.0m minimum setback from the front boundary to facilitate a planting zone forward from the wall
- Where the length of the wall exceeds 6m, it must be articulated by way of an increased setback for a gate and/or articulated planting zone as follows:

- a) Gate: a pedestrian gate entry must be setback a minimum 2.0m from front boundary.
- b) Articulated Planting Zone: An additional increased setback from the wall, of a minimum of 1m.

NO FENCING PERMITTED

No fencing permitted to nominated front boundary. Landscape boundary treatment only. Where multi unit site fronts open space, landscape treatment is to provide a vehicular barrier.

COMMUNITY GARDEN FENCE CONTROL

Pool type fence with rabbit proof chain link fence inlay. Maximum 1.5m height

NOTES

1. BLOCK EASEMENTS, DIMENSIONS, AREAS AND NUMBERS ARE SUBJECT TO SURVEY. REFER TO DEPOSITED PLANS FOR CONFIRMATION OF DETAILS.
2. STREET TREES, STREET LIGHTS AND SUBSTATION LOCATIONS ARE INDICATIVE ONLY.

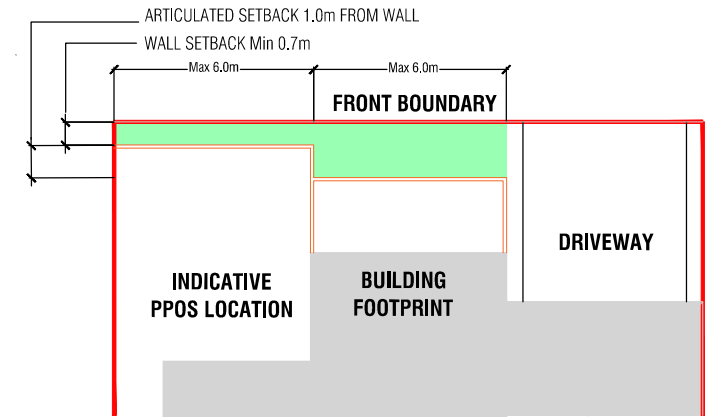


FIGURE 1. EXAMPLE - COURTYARD WALL, SHOWING ARTICULATED PLANTING ZONE SETBACK

PLANTING ZONE

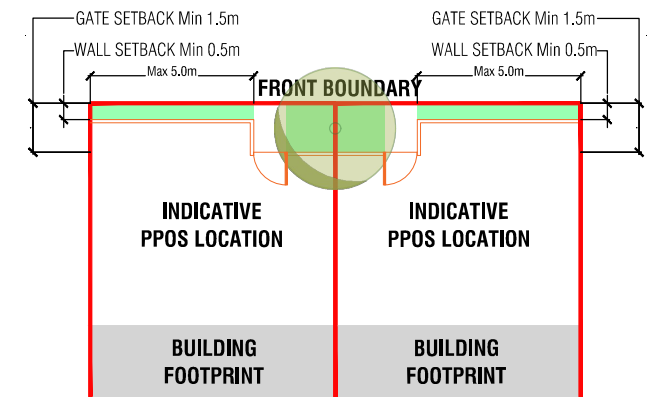


FIGURE 2. EXAMPLE - COURTYARD WALL LOCATION, SHOWING A TERRACE HOME FRONTING URBAN OPEN SPACE, WITH AN INCREASED SETBACK FOR A GATE ENTRY.

PLANTING ZONE TREE PLANTING GATE

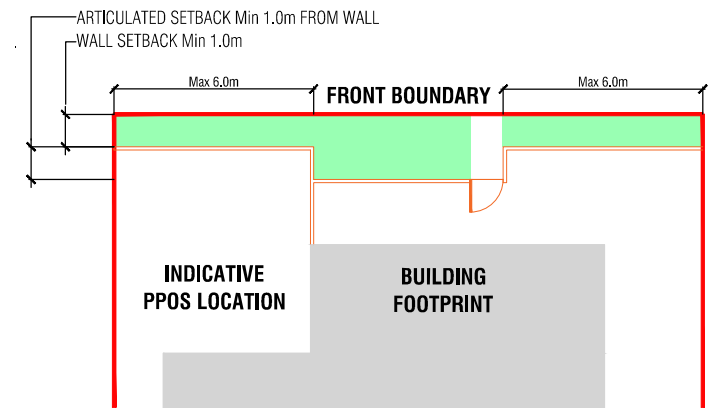
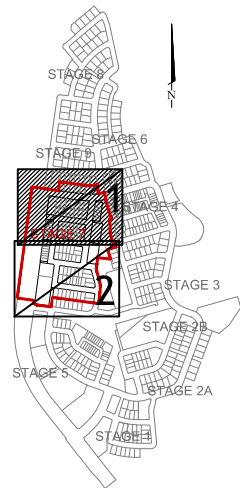
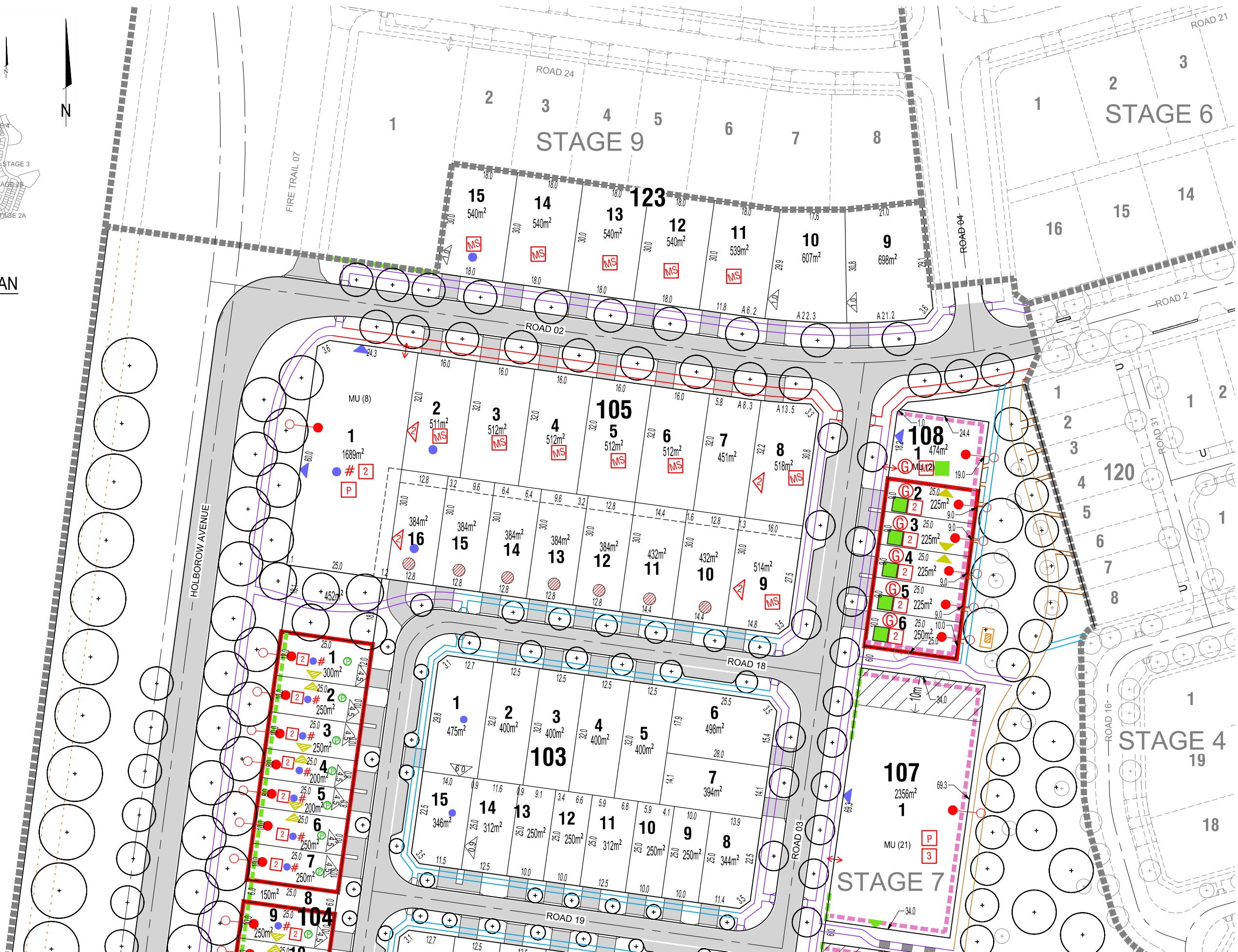


FIGURE 3. EXAMPLE - COURTYARD WALL, SHOWING A HOME FRONTING OPEN SPACE, WITH AN ARTICULATED GATE ENTRY AND PLANTING ZONE.

PLANTING ZONE GATE



KEY PLAN



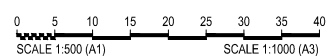
FOR CONTINUATION REFER TO DRAWING 17-002349.04-BD02

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FIRST ISSUE	DESIGN	DRAWN	CHECK	APPROVED	DATE
JER	SR	SR			

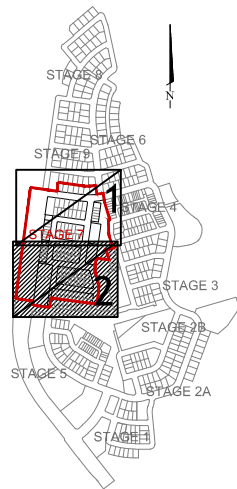
AMENDMENT DETAILS

Authorised for Issue:
BY: _____
SIGN: _____ DATE: _____



DENMAN NORTH-STAGE 7
DISCLAIMER
ALL DIMENSIONS TO BE CHECKED ON SITE BY CONTRACTOR PRIOR TO CONSTRUCTION. USE WRITTEN DIMENSIONS ONLY. DO NOT SCALE. NOT FOR CONSTRUCTION UNLESS STAMPED BY CERTIFYING AUTHORITY

BLOCK DETAIL PLAN
SECTION: 103, 104, 105, 107, 108, 123
SHEET 1 OF 2
17-002349.04 BD01



KEY PLAN

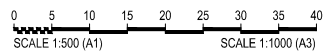


FIRST ISSUE	DESIGN	DRAWN	CHECK	APPROVED	DATE
	JER	SR			

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AMENDMENT DETAILS	
NO.	DESCRIPTION

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BY: _____
SIGN: _____ DATE: _____



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DENMAN NORTH-STAGE 7

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BLOCK DETAIL PLAN
SECTION: 100, 101, 102, 104, 106
SHEET 2 OF 2

17-002349.04 BD02