

LEGEND

STAGE BOUNDARY	
BLOCK SECTION AND IDENTIFIER	BA a
BLOCK AREA / BOUNDARY LENGTH	400m ² 4.54
3.5m COMBINED EASEMENT (Sewer and Stormwater)	
MANDATORY SIDE BOUNDARY 2 GARAGE LOCATION	
MINIMUM 0.0m SETBACK - GARAGE/CARPORT ONLY - side boundary setbacks apply for a maximum wall length of 8m	
MINIMUM 0.9m SETBACK - GARAGE/CARPORT ONLY - The maximum wall length of 8m	
MINIMUM 1.0m SETBACK - GARAGE/CARPORT ONLY - The maximum wall length of 8m	
MINIMUM 4.5m SETBACK - GARAGE ONLY	
BUILT FORM SETBACKS	
MINIMUM SETBACK 4m - ALL FLOORS	
MINIMUM SETBACK 1.5m (UPPER FLOOR LEVEL ONLY) - side boundary setbacks apply to the upper floor level to the nominated boundary within the Primary Building Zone only - Unscreened element for upper floor walls at nominated setbacks apply as per the relevant Territory Plan code	
MINIMUM 0.0m SETBACK - ALL FLOORS - Setbacks apply to all floor levels to the nominated boundary within the Primary Building Zone only - Unscreened element for walls at nominated setbacks apply as per the relevant Territory Plan code	
MINIMUM 1.0m SETBACK - UPPER FLOOR LEVEL ONLY - Side boundary setbacks apply to the upper floor level to the nominated boundary within the Primary Building Zone only - Unscreened element for upper floor walls at nominated setbacks apply as per the relevant Territory Plan code	
MINIMUM 1.5m SETBACK - ALL FLOORS - Side boundary setbacks apply to all floor levels to the nominated boundary within the Primary Building Zone only - Unscreened element for upper floor walls at nominated setbacks apply as per the relevant Territory Plan code	
MINIMUM 3.0m SETBACK - ALL FLOORS	
LIMITED DEVELOPMENT OPPORTUNITY	
MANDATORY MINIMUM 2 STOREYS	
MANDATORY 3 STOREYS	
MAXIMUM 2 STOREYS	
MAXIMUM 3 STOREYS	
MAXIMUM 4 STOREYS	
MANDATORY SURVEILLANCE BLOCK	

LEGEND

MANDATORY SIDE BOUNDARY 2 - REFER SINGLE DWELLING HOUSING DEVELOPMENT CODE	
MID SIZED BLOCK (500m ² - 549m ²). R21 OF THE SINGLE DWELLING HOUSING DEVELOPMENT CODE APPLIES	
VISITOR PARKING CONTROL - provide all visitor parking requirements as determined by the PARKING AND VEHICULAR ACCESS GENERAL CODE within the block	
POTENTIALLY NOISE AFFECTED BLOCK	
NO BUILD ZONE	
NO VEHICLE ACCESS PERMITTED	
INTEGRATED DEVELOPMENT PARCEL	
ALTERNATIVE PPOS DELIVERY PERMITTED - Principal Private Open Space permitted above the garage. All other PPOS requirements apply as per the relevant Territory Plan code	
STREETLIGHT	
STREET TREE	
DRIVEWAY LOCATION (RESIDENTIAL)	
HEAVY DUTY DRIVEWAY LOCATION	
INDICATIVE MULTI UNIT DRIVEWAY LOCATION	
INDICATIVE BUS STOP LOCATION	
SUBSTATION	
PATH (1.5 - 3.0m wide)	
UTILITY MAINTENANCE ACCESS EASEMENT Block requires utility maintenance access easement. Maintenance and emergency access routes are required where sewerage mains are located on leased land and buyers must comply with the requirements of utility providers law. Contact icon water on (02) 62483111 or talktous@iconwater.com.au for further information.	
BUILT FORM FEATURE Building feature to address the corner of the road and form a gateway feature into the Estate.	
KEY LOCATION FOR COMMERCIAL USE Such as cafe adjacent to the central park. The total limit of commercial GFA is 600m ² , and a Commercial GFA of Max. 200m ² per tenancy.	
DOUBLE FRONTAGE BUILT FORM FEATURE Blocks nominated to provide building response to both front boundaries via provision of habitable rooms that overlook both front boundaries.	
PEDESTRIAN ACCESS REQUIRED All front boundaries nominated must provide pedestrian access. Where multi unit site exceeds 10 dwellings multiple entries must be provided.	
BAL 12.5 BUILDING STANDARD TO AS 3959-2009	
GARAGE OPENING CONTROL Garage opening may exceed 50% of building facade width. Upper Floor must provide building articulation.	

LEGEND

RETAINING WALL	
RAISED PLATFORM	

LEGEND

FRONT FENCING AND COURTYARD CONTROLS

COURTYARD WALLS RULES FOR ALL BLOCKS (UNLESS NOMINATED OTHERWISE)

Courtyard Walls are permitted where Principal Private Open Space is located in the front zone. Courtyard walls are to comply with the following:

- Constructed only of brick, block or stonework, any of which may be combined with feature panels.
- Maximum height of 1.5m
- 0.7m minimum setback from the front boundary to facilitate a planting zone forward from the wall
- Where the length of wall exceeds 6m, it must be articulated by way of an increased setback for a gate and/or an articulated planting zone as follows:
 - a) Gate: A pedestrian gate entry must be setback a minimum 1.5m from front boundary
 - b) Articulated Planting Zone: An additional increased setback from the wall, of minimum of 1m.

FRONT FENCES AND COURTYARD WALLS for nominated blocks addressing Urban Open Spaces

No fences permitted to nominated front boundary(s). Courtyard walls are permitted forward of the building zone and are to comply with the following:

- Constructed only of brick, block or stonework, any of which may be combined with feature panels.
- Maximum height of 1.8m.
- 0.5m minimum setback from the front boundary to facilitate a planting zone forward from the wall
- Where the length of the wall exceeds 5m, it must be articulated by way of an increased setback for a gate and/or articulated planting zone as follows:
 - a) Gate: a pedestrian gate entry must be setback a minimum 1.5m from front boundary.
 - b) Articulated Planting Zone: An additional increased setback from the wall, of a minimum of 1m.

FRONT FENCES AND COURTYARD WALLS for nominated blocks fronting Open Spaces

Solid fences are not permitted. Courtyard walls are permitted forward of the building zone and are to comply with the following:

- Pedestrian access is mandatory and to be achieved by gates and/or pathway connections into the block.
- Constructed only of brick, block or stonework, any of which may be combined with feature panels.
- Maximum height of 1.8m.
- 1.0m minimum setback from the front boundary to facilitate a planting zone forward from the wall
- Where the length of the wall exceeds 6m, it must be articulated by way of an increased setback for a gate and/or articulated planting zone as follows:
 - a) Gate: a pedestrian gate entry must be setback a minimum 2.0m from front boundary.
 - b) Articulated Planting Zone: An additional increased setback from the wall, of a minimum of 1m.

NO FENCING PERMITTED

No fencing permitted to nominated front boundary. Landscape boundary treatment only. Where multi unit site fronts open space, landscape treatment is to provide vehicular barrier.

COMMUNITY GARDEN FENCE CONTROL

Pool type fence with rabbit proof chain link fence inlay. Maximum 1.5m height

NOTES

1. BLOCK EASEMENTS, DIMENSIONS, AREAS AND NUMBERS ARE SUBJECT TO SURVEY. REFER TO DEPOSITED PLANS FOR CONFIRMATION OF DETAILS.
2. STREET TREES, STREET LIGHTS AND SUBSTATION LOCATIONS ARE INDICATIVE ONLY.
3. ALL DIMENSIONS ARE IN METRES.

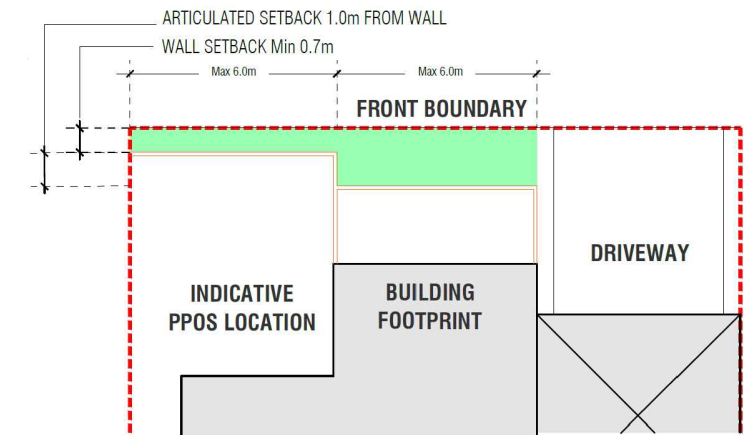


FIGURE 1. EXAMPLE - COURTYARD WALL, SHOWING ARTICULATED PLANTING ZONE SETBACK

PLANTING ZONE

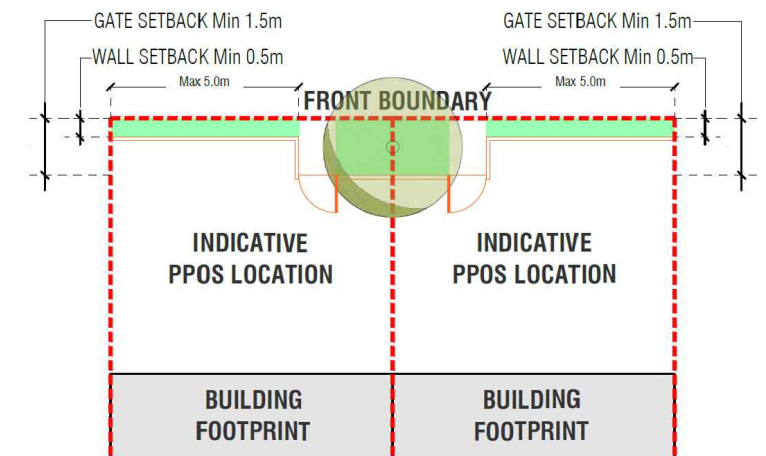


FIGURE 2. EXAMPLE - COURTYARD WALL LOCATION, SHOWING A TERRACE HOME FRONTING URBAN OPEN SPACE, WITH AN INCREASED SETBACK FOR A GATE ENTRY.

PLANTING ZONE TREE PLANTING GATE

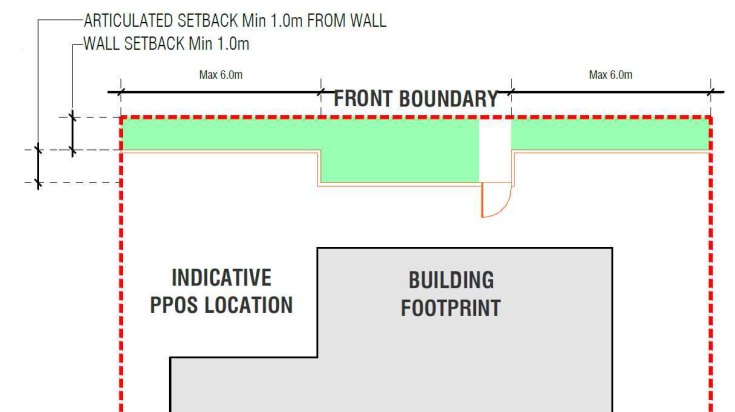


FIGURE 3. EXAMPLE - COURTYARD WALL, SHOWING A HOME FRONTING OPEN SPACE, WITH AN ARTICULATED GATE ENTRY AND PLANTING ZONE.

PLANTING ZONE GATE

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D	BLOCK NUMBERS ADJUSTED	C.J.C	20-04-22
C	BACK OF BLOCK WATER SERVICING ITEMS REMOVED FROM LEGEND	BC	20-09-21
B	AMENDED IN ACCORDANCE WITH CLIENT COMMENTS	BC	27-07-21
A	ISSUED TO CLIENT	BC	03-05-21
Rev	Amendments	Approved	Date

1:500@ A1
SCALE
1:1000@ A3

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Designed
R. MURDOCK

Checked
B. CARGILL

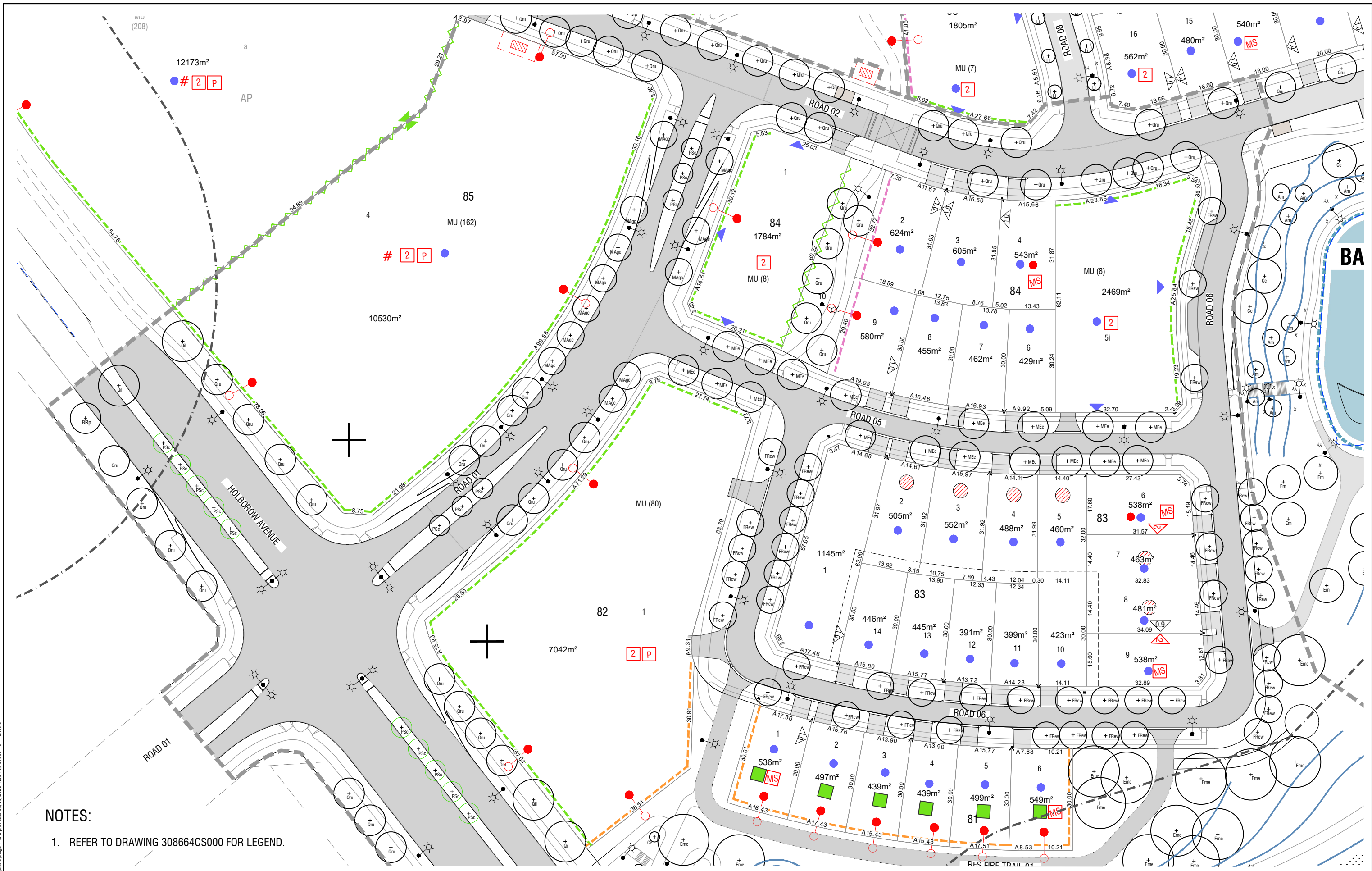
Authorised
B. CARGILL

Date
20-04-21

DENMAN PROSPECT 2
STAGES 1 2A & 2B
BLOCK DETAIL PLAN
LEGEND
ACT
CED

Drg No
308664CS000

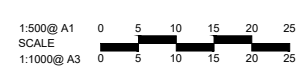
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 1. REFER TO DRAWING 308664CS000 FOR LEGEND.

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H	SEWER MAINTENANCE ACCESS SYMBOLS ADDED	C.J.C	30-10-23
G	VIEWPORT UPDATED	BC	22-08-23
F	FILL ON BLOCKS UPDATED	C.J.C	18-05-23
E	BAL RATINGS UPDATED	C.J.C	28-04-22
D	BLOCK NUMBERS ADJUSTED	C.J.C	20-04-22
C	BLOCK NUMBERS ADJUSTED	C.J.C	20-04-22
B	FILL ON BLOCKS UPDATED. VIEWPORT MOVED TO REFLECT NEW STAGING	BC	20-09-21
A	ISSUED TO CLIENT	BC	03-05-21
Rev	Amendments	Approved	Date



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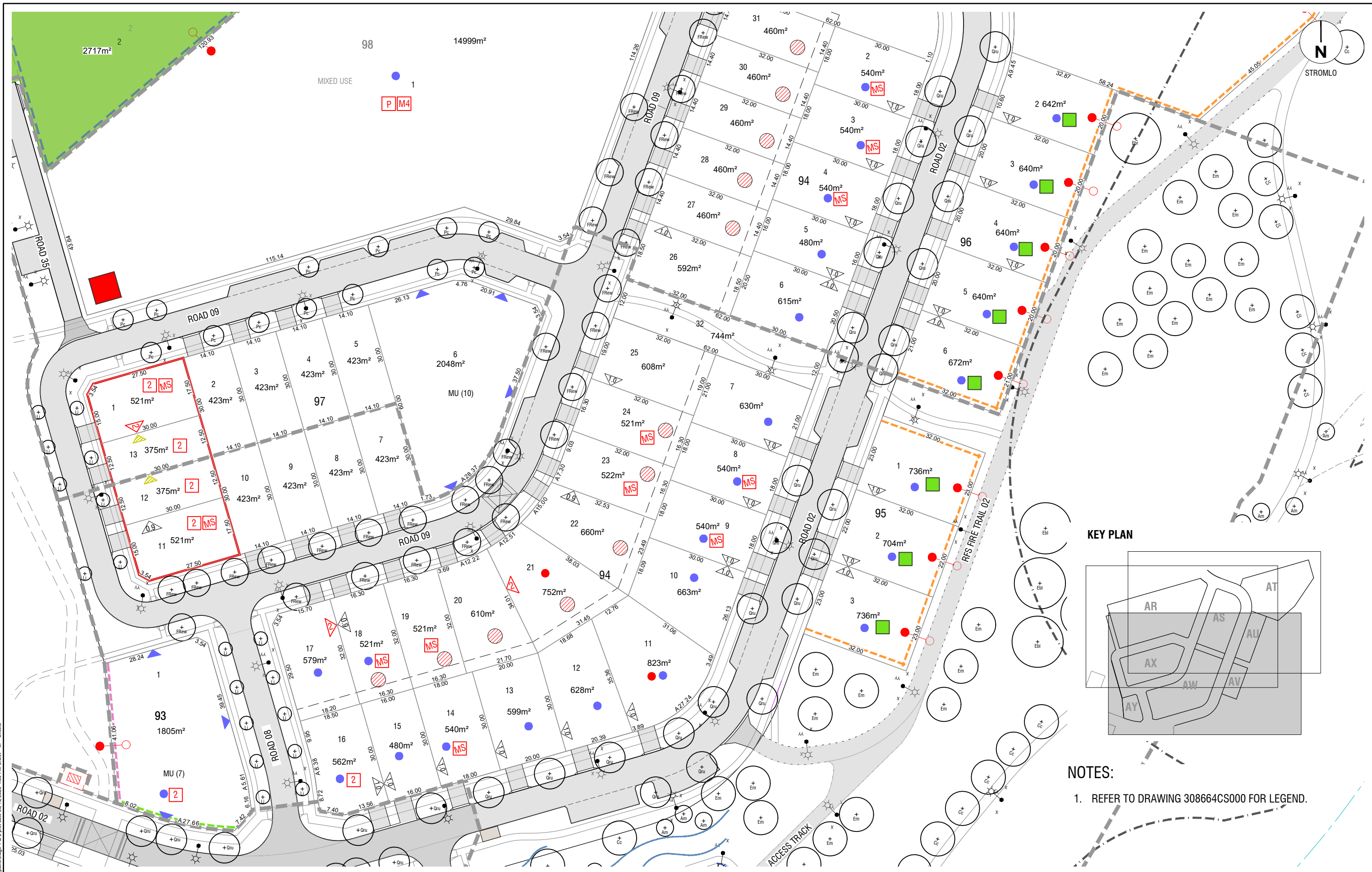
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B. CARGILL

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B. CARGILL
 Date
 20-04-21

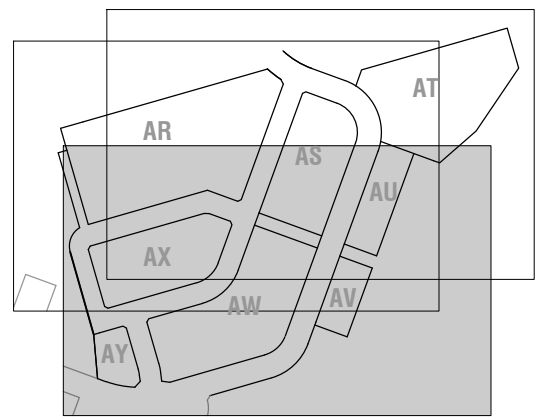
DENMAN PROSPECT 2
STAGES 1 2A & 2B
BLOCK DETAIL PLAN
STAGE 1
ACT
CED

Drg No
308664CS001

Rev
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KEY PLAN

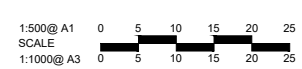


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Rev	Amendments	Approved	Date
D	SEWER MAINTENANCE ACCESS SYMBOLS ADDED	C.J.C	30-10-2023
C	AV, AU WATER TIES MOVED TO FRONT OF BLOCK	BC	20-09-21
B	AMENDED IN ACCORDANCE WITH CLIENT COMMENTS	BC	27-07-21
A	ISSUED TO CLIENT	BC	07-05-21



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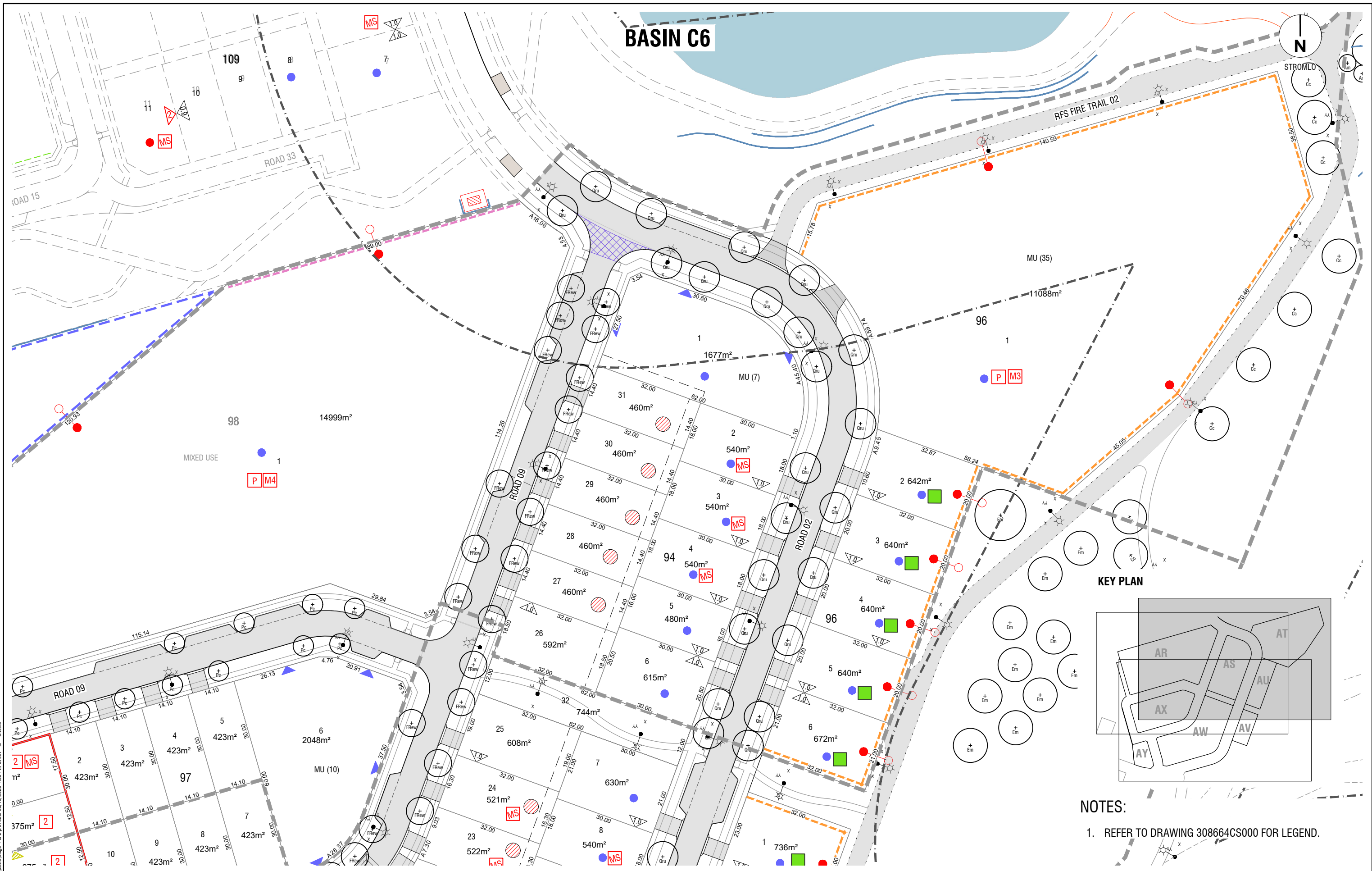
Designed
 R. MURDOCK
 Authorised
 B. CARGILL



Checked
 B. CARGILL
 Date
 07-05-2021

DENMAN PROSPECT 2
STAGES 1 2A & 2B
 BLOCK DETAIL PLAN
 STAGE 2 - SECTION AX, AY, AW, AV
 ACT
 CED

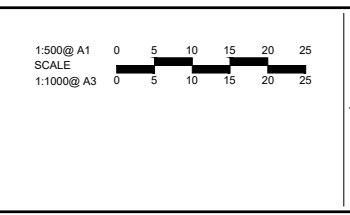
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308664CS010
 Rev
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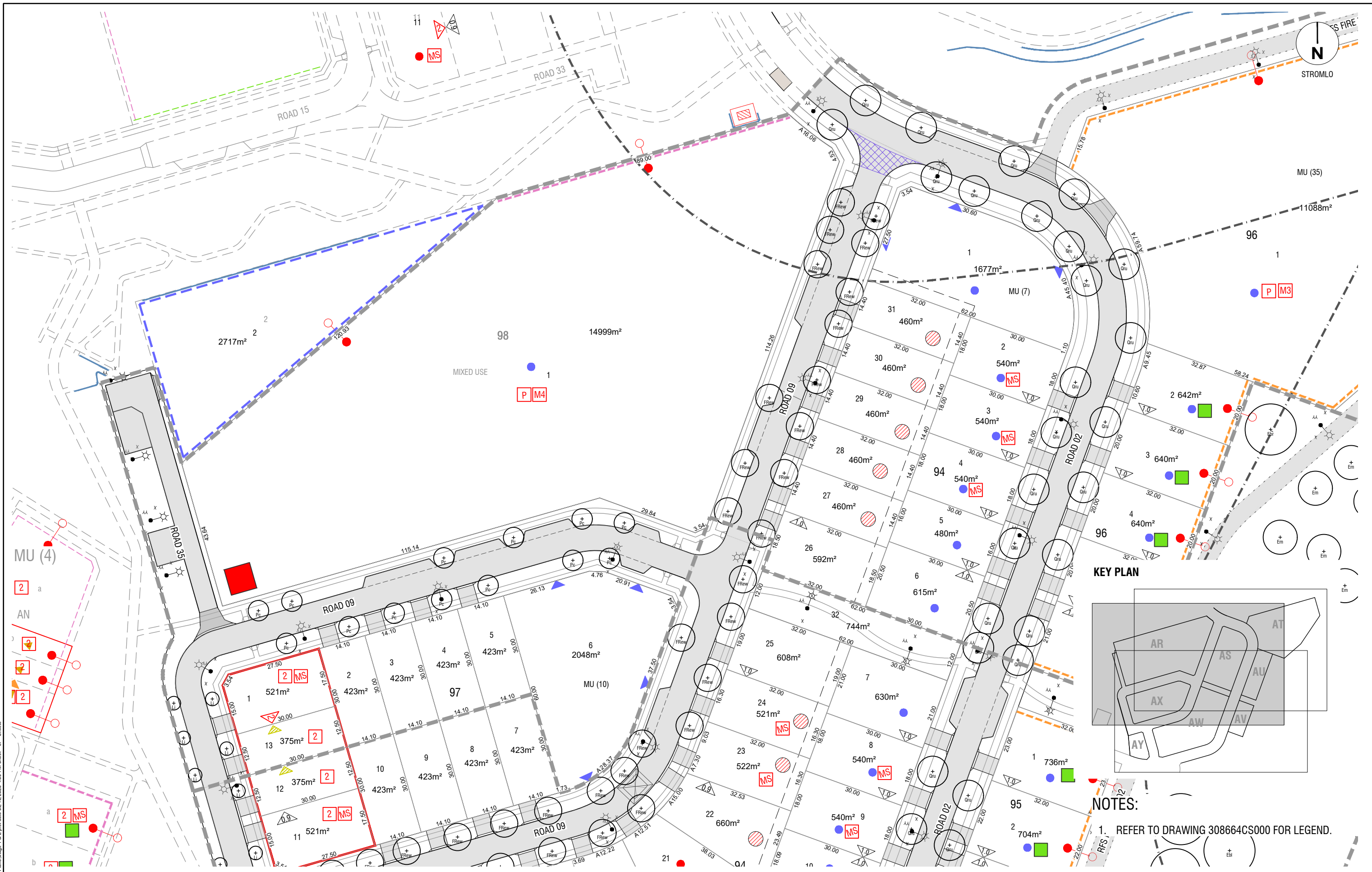
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D	SEWER MAINTENANCE ACCESS SYMBOLS ADDED	C.J.C	30-10-2023
C	AU WATER TIES MOVED TO FRONT OF BLOCK	BC	20-09-21
B	AMENDED IN ACCORDANCE WITH CLIENT COMMENTS	BC	27-07-21
A	ISSUED TO CLIENT	BC	07-05-21



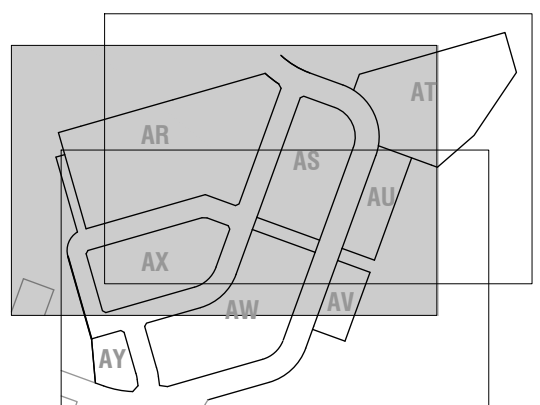
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 Authorised: B. CARGILL
 Checked: B. CARGILL
 Date: 07-05-2021

DENMAN PROSPECT 2
 STAGES 1 2A & 2B
 BLOCK DETAIL PLAN
 STAGE 2 - SECTION AS, AU, AT
 ACT
 CED
 Drg No: 308664CS011
 Rev: C



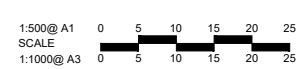
KEY PLAN



NOTES:

1. REFER TO DRAWING 308664CS000 FOR LEGEND.

H	SEWER MAINTENANCE ACCESS SYMBOLS ADDED	C.J.C	30-10-2023
G	FILL ON BLOCKS UPDATED	C.J.C	18-05-23
F	BAL RATINGS UPDATED	C.J.C	28-04-22
E	BLOCK NUMBERS ADJUSTED	C.J.C	20-04-22
D	BLOCK NUMBERS ADJUSTED	C.J.C	20-04-22
C	FILL ON BLOCKS UPDATED	BC	20-09-21
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DENMAN PROSPECT 2
STAGES 1 2A & 2B
BLOCK DETAIL PLAN
STAGE 2 - SECTION AR
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