

**LEGEND**

STAGE BOUNDARY	
BLOCK SECTION AND IDENTIFIER	<b>BA a</b>
BLOCK AREA / BOUNDARY LENGTH	400m <sup>2</sup> 4.54
3.5m COMBINED EASEMENT (Sewer and Stormwater)	
<b>MANDATORY SIDE BOUNDARY 2 GARAGE LOCATION</b>	
MINIMUM 0.0m SETBACK - GARAGE/CARPORT ONLY - side boundary setbacks apply for a maximum wall length of 8m	
MINIMUM 0.9m SETBACK - GARAGE/CARPORT ONLY - The maximum wall length of 8m	
MINIMUM 1.0m SETBACK - GARAGE/CARPORT ONLY - The maximum wall length of 8m	
MINIMUM 4.5m SETBACK - GARAGE ONLY	
<b>BUILT FORM SETBACKS</b>	
MINIMUM SETBACK 4m - ALL FLOORS	
MINIMUM SETBACK 1.5m (UPPER FLOOR LEVEL ONLY) - side boundary setbacks apply to the upper floor level to the nominated boundary within the Primary Building Zone only - Unscreened element for upper floor walls at nominated setbacks apply as per the relevant Territory Plan code	
MINIMUM 0.0m SETBACK - ALL FLOORS - Setbacks apply to all floor levels to the nominated boundary within the Primary Building Zone only - Unscreened element for walls at nominated setbacks apply as per the relevant Territory Plan code	
MINIMUM 1.0m SETBACK - UPPER FLOOR LEVEL ONLY - Side boundary setbacks apply to the upper floor level to the nominated boundary within the Primary Building Zone only - Unscreened element for upper floor walls at nominated setbacks apply as per the relevant Territory Plan code	
MINIMUM 1.5m SETBACK - ALL FLOORS - Side boundary setbacks apply to all floor levels to the nominated boundary within the Primary Building Zone only - Unscreened element for upper floor walls at nominated setbacks apply as per the relevant Territory Plan code	
MINIMUM 3.0m SETBACK - ALL FLOORS	
LIMITED DEVELOPMENT OPPORTUNITY	
MANDATORY MINIMUM 2 STOREYS	
MANDATORY 3 STOREYS	
MAXIMUM 2 STOREYS	
MAXIMUM 3 STOREYS	
MAXIMUM 4 STOREYS	
MANDATORY SURVEILLANCE BLOCK	

**LEGEND**

MANDATORY SIDE BOUNDARY 2 - REFER SINGLE DWELLING HOUSING DEVELOPMENT CODE	
MID SIZED BLOCK (500m <sup>2</sup> - 549m <sup>2</sup> ). R21 OF THE SINGLE DWELLING HOUSING DEVELOPMENT CODE APPLIES	
VISITOR PARKING CONTROL - provide all visitor parking requirements as determined by the PARKING AND VEHICULAR ACCESS GENERAL CODE within the block	
POTENTIALLY NOISE AFFECTED BLOCK	
NO BUILD ZONE	
NO VEHICLE ACCESS PERMITTED	
INTEGRATED DEVELOPMENT PARCEL	
ALTERNATIVE PPOS DELIVERY PERMITTED - Principal Private Open Space permitted above the garage. All other PPOS requirements apply as per the relevant Territory Plan code	
STREETLIGHT	
STREET TREE	
DRIVEWAY LOCATION (RESIDENTIAL)	
HEAVY DUTY DRIVEWAY LOCATION	
INDICATIVE MULTI UNIT DRIVEWAY LOCATION	
INDICATIVE BUS STOP LOCATION	
SUBSTATION	
PATH (1.5 - 3.0m wide)	
UTILITY MAINTENANCE ACCESS EASEMENT Block requires utility maintenance access easement. Maintenance and emergency access routes are required where sewerage mains are located on leased land and buyers must comply with the requirements of utility providers law. Contact icon water on (02) 62483111 or talktous@iconwater.com.au for further information.	
BUILT FORM FEATURE Building feature to address the corner of the road and form a gateway feature into the Estate.	
KEY LOCATION FOR COMMERCIAL USE Such as cafe adjacent to the central park. The total limit of commercial GFA is 600m <sup>2</sup> , and a Commercial GFA of Max. 200m <sup>2</sup> per tenancy.	
DOUBLE FRONTAGE BUILT FORM FEATURE Blocks nominated to provide building response to both front boundaries via provision of habitable rooms that overlook both front boundaries.	
PEDESTRIAN ACCESS REQUIRED All front boundaries nominated must provide pedestrian access. Where multi unit site exceeds 10 dwellings multiple entries must be provided.	
BAL 12.5 BUILDING STANDARD TO AS 3959-2009	
GARAGE OPENING CONTROL Garage opening may exceed 50% of building facade width. Upper Floor must provide building articulation.	
WATER SERVICE Must come from fire trail side of block. Block address to be provided at front and rear of dwelling.	

**LEGEND**

WATER METER ENCLOSURE (2mx2m) OR WATER METER CABINET AS PER ICON WATER SD 3307-C	
RETAINING WALL	
RAISED PLATFORM	

**LEGEND**

**FRONT FENCING AND COURTYARD CONTROLS**

**COURTYARD WALLS RULES FOR ALL BLOCKS (UNLESS NOMINATED OTHERWISE)**

Courtyard Walls are permitted where Principal Private Open Space is located in the front zone. Courtyard walls are to comply with the following:

- Constructed only of brick, block or stonework, any of which may be combined with feature panels.
- Maximum height of 1.5m
- 0.7m minimum setback from the front boundary to facilitate a planting zone forward from the wall
- Where the length of wall exceeds 6m, it must be articulated by way of an increased setback for a gate and/or an articulated planting zone as follows:
  - a) Gate: A pedestrian gate entry must be setback a minimum 1.5m from front boundary
  - b) Articulated Planting Zone: An additional increased setback from the wall, of minimum of 1m.

**FRONT FENCES AND COURTYARD WALLS for nominated blocks addressing Urban Open Spaces**

No fences permitted to nominated front boundary(s). Courtyard walls are permitted forward of the building zone and are to comply with the following:

- Constructed only of brick, block or stonework, any of which may be combined with feature panels.
- Maximum height of 1.8m.
- 0.5m minimum setback from the front boundary to facilitate a planting zone forward from the wall
- Where the length of the wall exceeds 5m, it must be articulated by way of an increased setback for a gate and/or articulated planting zone as follows:
  - a) Gate: a pedestrian gate entry must be setback a minimum 1.5m from front boundary.
  - b) Articulated Planting Zone: An additional increased setback from the wall, of a minimum of 1m.

**FRONT FENCES AND COURTYARD WALLS for nominated blocks fronting Open Spaces**

Solid fences are not permitted. Courtyard walls are permitted forward of the building zone and are to comply with the following:

- Pedestrian access is mandatory and to be achieved by gates and/or pathway connections into the block.
- Constructed only of brick, block or stonework, any of which may be combined with feature panels.
- Maximum height of 1.8m.
- 1.0m minimum setback from the front boundary to facilitate a planting zone forward from the wall
- Where the length of the wall exceeds 6m, it must be articulated by way of an increased setback for a gate and/or articulated planting zone as follows:
  - a) Gate: a pedestrian gate entry must be setback a minimum 2.0m from front boundary.
  - b) Articulated Planting Zone: An additional increased setback from the wall, of a minimum of 1m.

**NO FENCING PERMITTED**  
No fencing permitted to nominated front boundary. Landscape boundary treatment only. Where multi unit site fronts open space, landscape treatment is to provide vehicular barrier.

**COMMUNITY GARDEN FENCE CONTROL**  
Pool type fence with rabbit proof chain link fence inlay. Maximum 1.5m height

**NOTES**

1. BLOCK EASEMENTS, DIMENSIONS, AREAS AND NUMBERS ARE SUBJECT TO SURVEY. REFER TO DEPOSITED PLANS FOR CONFIRMATION OF DETAILS.
2. STREET TREES, STREET LIGHTS AND SUBSTATION LOCATIONS ARE INDICATIVE ONLY.
3. ALL DIMENSIONS ARE IN METRES.

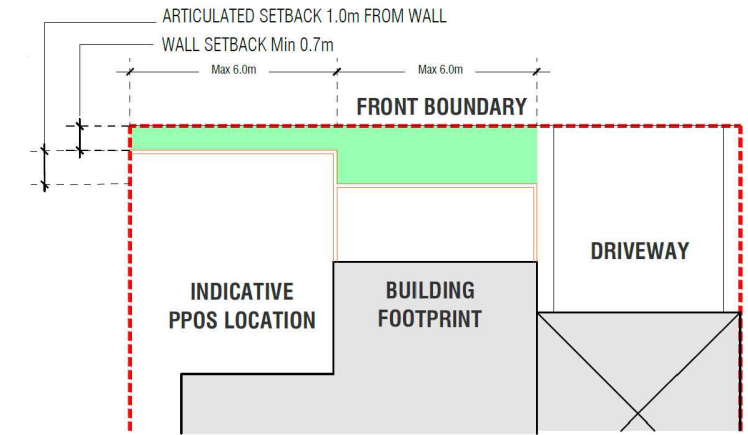


FIGURE 1. EXAMPLE - COURTYARD WALL, SHOWING ARTICULATED PLANTING ZONE SETBACK

PLANTING ZONE

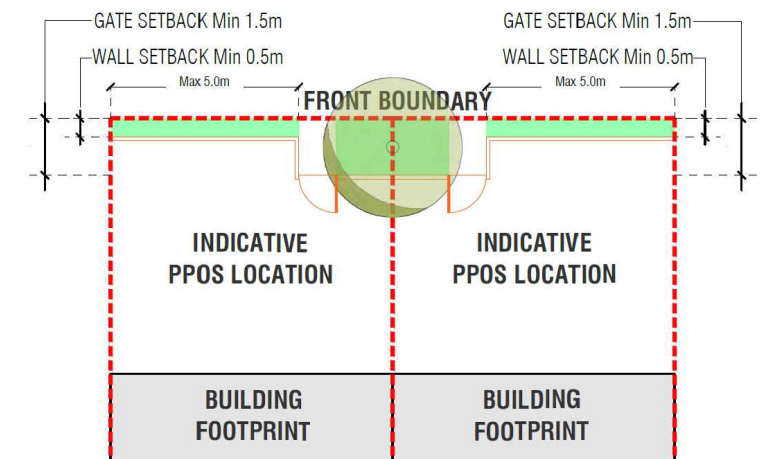


FIGURE 2. EXAMPLE - COURTYARD WALL LOCATION, SHOWING A TERRACE HOME FRONTING URBAN OPEN SPACE, WITH AN INCREASED SETBACK FOR A GATE ENTRY.

PLANTING ZONE TREE PLANTING GATE

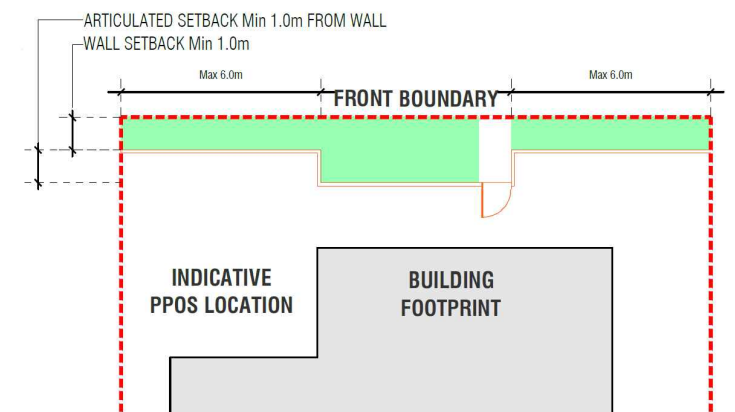


FIGURE 3. EXAMPLE - COURTYARD WALL, SHOWING A HOME FRONTING OPEN SPACE, WITH AN ARTICULATED GATE ENTRY AND PLANTING ZONE.

PLANTING ZONE GATE

file name: 309153CS001.dwg; layout name: CS000; plotted by: Jordana Breanton; file location G:\309153CS001\ACAD\sales plans\Stage 3\plot date 28/04/2022 10:44 AM Sheet 1 of 3 Sheets

1:500@ A1	0	5	10	15	20	25
SCALE						
1:1000@ A3	0	5	10	15	20	25
B	BLOCK NUMBERS ADJUSTED	C.J.C	20-04-22			
A	ISSUED TO CLIENT	BC	22-06-21			
Rev	Amendments	Approved	Date			

© Spiire Australia Pty Ltd All Rights Reserved  
This document is produced by Spiire Australia Pty Ltd solely for the benefit of and use by the client in accordance with the terms of the retainer. Spiire Australia Pty Ltd does not and shall not assume any responsibility or liability whatsoever to any third party arising out of any use or reliance by third party on the contents of this document.

**spiire**  
Suite 3, Level 1, 243 Northbourne Ave Lyneham 2602  
Australian Capital Territory Australia T 61 2 6102 1000  
spiire.com.au ABN 55 050 029 635

**CAPITAL ESTATE DEVELOPMENTS**  
Designed L.O'REILLY  
Authorised B.CARGILL

**Denman Prospect**  
Checked B.CARGILL  
Date 22-06-2021

**DENMAN PROSPECT 2 STAGES 3 BLOCK DETAIL PLAN LEGEND**  
ACT  
CED

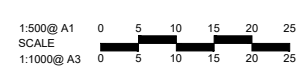
Drg No **309153CS000** Rev **B**



**NOTES:**  
 1. REFER TO DRAWING 309513CS000 FOR LEGEND.

file name: 309513CS001.dwg, layout name: CS001, plotted by: Chelsea Crocrag, plot date: 30/10/2023 5:12 PM, Sheet 2 of 3 Sheets  
 file location: \\spaire\caribdata\lata\30\309513CS001\CAD\Stages Plans\Stage 3

Rev	Amendments	Approved	Date
D	SEWER MAINTENANCE ACCESS SYMBOLS ADDED	C.J.C	30-10-2023
C	BAL UPDATED	C.J.C	28-04-22
B	BLOCK NUMBERS ADJUSTED	C.J.C	20-04-22
A	ISSUED TO CLIENT	BC	22-06-21



© Spiire Australia Pty Ltd All Rights Reserved  
 This document is produced by Spiire Australia Pty Ltd solely for the benefit of and use by the client in accordance with the terms of the retainer. Spiire Australia Pty Ltd does not and shall not assume any responsibility or liability whatsoever to any third party arising out of any use or reliance by third party on the contents of this document.

Suite 3, Level 1, 243 Northbourne Ave Lyneham 2602  
 Australian Capital Territory Australia T 61 2 6102 1000  
 spiire.com.au ABN 55 050 029 635

Designed  
L.O'REILLY  
 Authorised  
B.CARGILL

Checked  
B.CARGILL  
 Date  
22-06-2021

**DENMAN PROSPECT 2**  
**STAGES 3**  
 BLOCK DETAIL PLAN  
 STAGE 3 - SECTION X, Y, AC, AD, AE  
 ACT  
 CED

Drg No  
**309153CS001**

Rev  
**D**