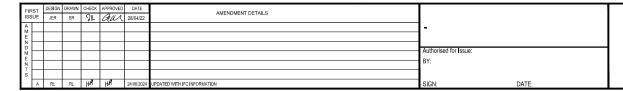
## **LEGEND**

WATER METER ENCLOSURE (2mx2m) OR STAGE BOUNDARY MANDATORY SIDE BOUNDARY 2 - REFER WATER METER CABINET AS PER ICON SINGLE DWELLING HOUSING BA a BLOCK SECTION AND IDENTIFIER DEVELOPMENT CODE WATER SD 3307-C ARTICULATED SETBACK 1.0m FROM WALL MID SIZED BLOCK (500m² - 549m²). R21 OF RETAINING WALL 400m<sup>2</sup> 4.54 BLOCK AREA / BOUNDARY LENGTH WALL SETBACK Min 0.7m THE SINGLE DWELLING HOUSING 3.5m COMBINED EASEMENT DEVELOPMENT CODE APPLIES RAISED PLATFORM (Sewer and Stormwater) VISITOR PARKING CONTROL - provide all LIMITED DEVELOPMENT POTENTIAL MANDATORY SIDE BOUNDARY 2 GARAGE LOCATION visitor parking requirements as determined by the PARKING AND VEHICULAR ACCESS MINIMUM 0.0m SETBACK -FRONT FENCING AND COURTYARD CONTROLS GENERAL CODE within the block GARAGE/CARPORT ONLY - side boundary POTENTIALLY NOISE AFFECTED BLOCK ∠0.0 setbacks apply for a maximum wall length of COURTYARD WALLS RULES FOR ALL BLOCKS (UNLESS NOMINATED OTHERWISE) NO BUILD ZONE INDICATIVE MINIMUM 0.9m SETBACK -Courtyard Walls are permitted where Principal Private Open Space is located in the front zone. Courtyard walls NO VEHICLE ACCESS PERMITTED PPOS LOCATION <u> √0.9</u>\ are to comply with the following: GARAGE/CARPORT ONLY - The maximum - Constructed only of brick, block or stonework, any of which may be combined with feature panels. wall length of 8m INTEGRATED DEVELOPMENT PARCEL - Maximum height of 1.5m - 0.7m minimum setback from the front boundary to facilitate a planting zone forward from the wall MINIMUM 1.0m SETBACK -ALTERNATIVE PPOS DELIVERY PERMITTED  $\angle 1.0$ - Where the length of wall exceeds 6m, it must be articulated by way of an increased setback for a gate and/or an GARAGE/CARPORT ONLY - The maximum -Principal Private Open Space permitted above **P** articulated planting zone as follows: the garage. All other PPOS requirements apply as wall length of 8m a) Gate: A pedestrian gate entry must be setback a minimum 1.5m from front boundary per the relevant Territory Plan code b) Articulated Planting Zone: An additional increased setback from the wall, of minimum of 1m. 4.5 MINIMUM 4.5m SETBACK - GARAGE ONLY PLANTING ZONE •0 **BUILT FORM SETBACKS** STREETLIGHT FRONT FENCES AND COURTYARD WALLS for nominated blocks addressing (+)Urban Open Spaces MINIMUM SETBACK 4m - ALL FLOORS STREET TREE DRIVEWAY LOCATION (RESIDENTIAL) No fences permitted to nominated front boundary(s). Courtyard walls are permitted MINIMUM SETBACK 1.5m (UPPER FLOOR forward of the building zone and are to comply with the following: \_\_Max 5.0m\_ LEVEL ONLY) - side boundary setbacks apply HEAVY DUTY DRIVEWAY LOCATION - Constructed only of brick, block or stonework, any of which may be combined with to the upper floor level to the nominated feature panels. boundary within the Primary Building Zone only INDICATIVE MULTI UNIT DRIVEWAY - Maximum height of 1.8m. - Unscreened element for upper floor walls at - 0.5m minimum setback from the front boundary to facilitate a planting zone forward LOCATION nominated setbacks apply as per the relevant from the wall INDICATIVE BUS STOP LOCATION Territory Plan code - Where the length of the wall exceeds 5m, it must be articulated by way of an increased setback for a gate and/or articulated planting zone as follows:  $\square$ SUBSTATION MINIMUM 0.0m SETBACK - ALL FLOORS a) Gate: a pedestrian gate entry must be setback a minimum 1.5m from front boundary. b) Articulated Planting Zone: An additional increased setback from the wall, of a - Setbacks apply to all floor levels to the PATH (1.5 - 3.0m wide) minimum of 1m. nominated boundary within the Primary Building Zone only UTILITY MAINTENANCE ACCESS - Unscreened element for walls at nominated EASEMENT setbacks apply as per the relevant Territory Block requires utility maintenance access FRONT FENCES AND COURTYARD WALLS for nominated blocks fronting Open Plan code easement. Maintenance and emergency access routes are required where sewerage MINIMUM 1.0m SETBACK - UPPER FLOOR mains are located on leased land and buyers Solid fences are not permitted. Courtyard walls are permitted forward of the building LEVEL ONLY must comply with the requirements of utility zone and are to comply with the following: - Side boundary setbacks apply to the upper providers law. Contact Icon Water on (02) - Pedestrian access is mandatory and to be achieved by gates and/or pathway floor level to the nominated boundary within the 62483111 or talktous@iconwater.com.au for connections into the block. PLANTING ZONE Primary Building Zone only further information. - Constructed only of brick, block or stonework, any of which may be combined with - Unscreened element for upper floor walls at feature panels. nominated setbacks apply as per the relevant BUILT FORM FEATURE - Maximum height of 1.8m -WALL SETBACK Min 1 0m Territory Plan code Building feature to address the corner of the road - 1.0m minimum setback from the front boundary to facilitate a planting zone forward and form a gateway feature into the Estate. from the wall - Where the length of the wall exceeds 6m, it must be articulated by way of an increased MINIMUM 1.5m SETBACK - ALL FLOORS KEY LOCATION FOR COMMERCIAL USE setback for a gate and/or articulated planting zone as follows: - Side boundary setbacks apply to all floor a) Gate: a pedestrian gate entry must be setback a minimum 2.0m from front boundary. Such as cafe adjacent to the central park. The b) Articulated Planting Zone: An additional increased setback from the wall, of a levels to the nominated boundary within the total limit of commercial GFA is 600m2, and a Primary Building Zone only. minimum of 1m. Commercial GFA of Max. 200m2 per tenancy. - Unscreened element for upper floor walls at nominated setbacks apply as per the relevant DOUBLE FRONTAGE BUILT FORM FEATURE NO FENCING PERMITTED Territory Plan code Blocks nominated to provide building response to both front boundaries via provision of habitable INDICATIVE No fencing permitted to nominated front boundary. Landscape boundary treatment MINIMUM 3.0m SETBACK - ALL FLOORS rooms that overlook both front boundaries. only. Where multi unit site fronts open space, landscape treatment is to provide a PPOS LOCATION PEDESTRIAN ACCESS REQUIRED All front boundaries nominated must provide pedestrian access. Where multi unit site 2 exceeds 10 dwellings multiple entries must be MANDATORY MINIMUM 2 STOREYS provided. FIGURE 3. EXAMPLE - COURTYARD WALL. SHOWING A HOME FRONTING 3 MANDATORY 3 STOREYS NOTES OPEN SPACE, WITH AN ARTICULATED GATE ENTRY AND PLANTING ZONE. BAL 12.5 BUILDING STANDARD TO AS M2 3959-2009 MAXIMUM 2 STOREYS PLANTING ZONE 1. BLOCK EASEMENTS, DIMENSIONS, AREAS AND NUMBERS ARE SUBJECT TO SURVEY. М3 MAXIMUM 3 STOREYS GARAGE OPENING CONTROL REFER TO DEPOSITED PLANS FOR CONFIRMATION OF DETAILS. Garage opening may exceed 50% of building M4 2. STREET TREES, STREET LIGHTS AND SUBSTATION LOCATIONS ARE INDICATIVE ONLY. facade width. Upper Floor must provide MAXIMUM 4 STOREYS building articulation. S MANDATORY SURVEILLANCE BLOCK

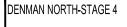
FRONT BOUNDARY DRIVEWAY BUILDING **FOOTPRINT** FIGURE 1. EXAMPLE - COURTYARD WALL, SHOWING ARTICULATED PLANTING ZONE SETBACK -GATE SETBACK Min 1.5m GATE SETBACK Min 1.5m--WALL SETBACK Min 0.5m WALL SETBACK Min 0.5m-\_Max 5.0m\_ FRONT BOUNDARY INDICATIVE INDICATIVE PPOS LOCATION PPOS LOCATION BUILDING **BUILDING FOOTPRINT FOOTPRINT** FIGURE 2. EXAMPLE - COURTYARD WALL LOCATION, SHOWING A TERRACE HOME FRONTING URBAN OPEN SPACE, WITH AN INCREASED SETBACK FOR A GATE ENTRY. TREE PLANTING / GATE -ARTICULATED SETBACK Min 1.0m FROM WALL 1 FRONT BOUNDARY 1 BUILDING **FOOTPRINT** 











BLOCK DETAIL PLAN COVER SHEET

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