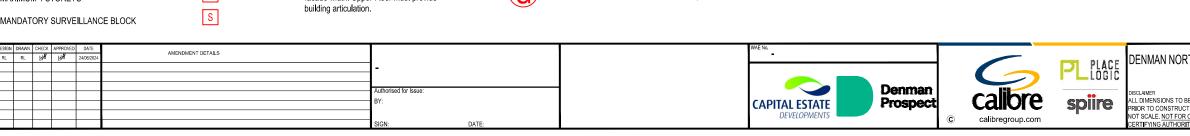
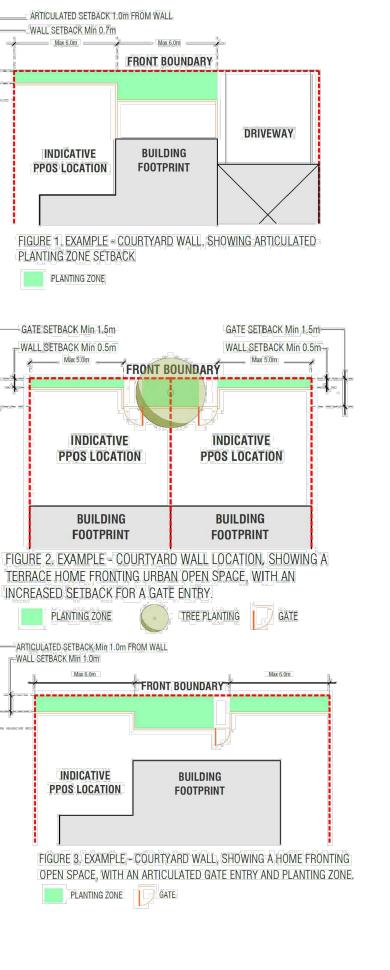
LEGEND

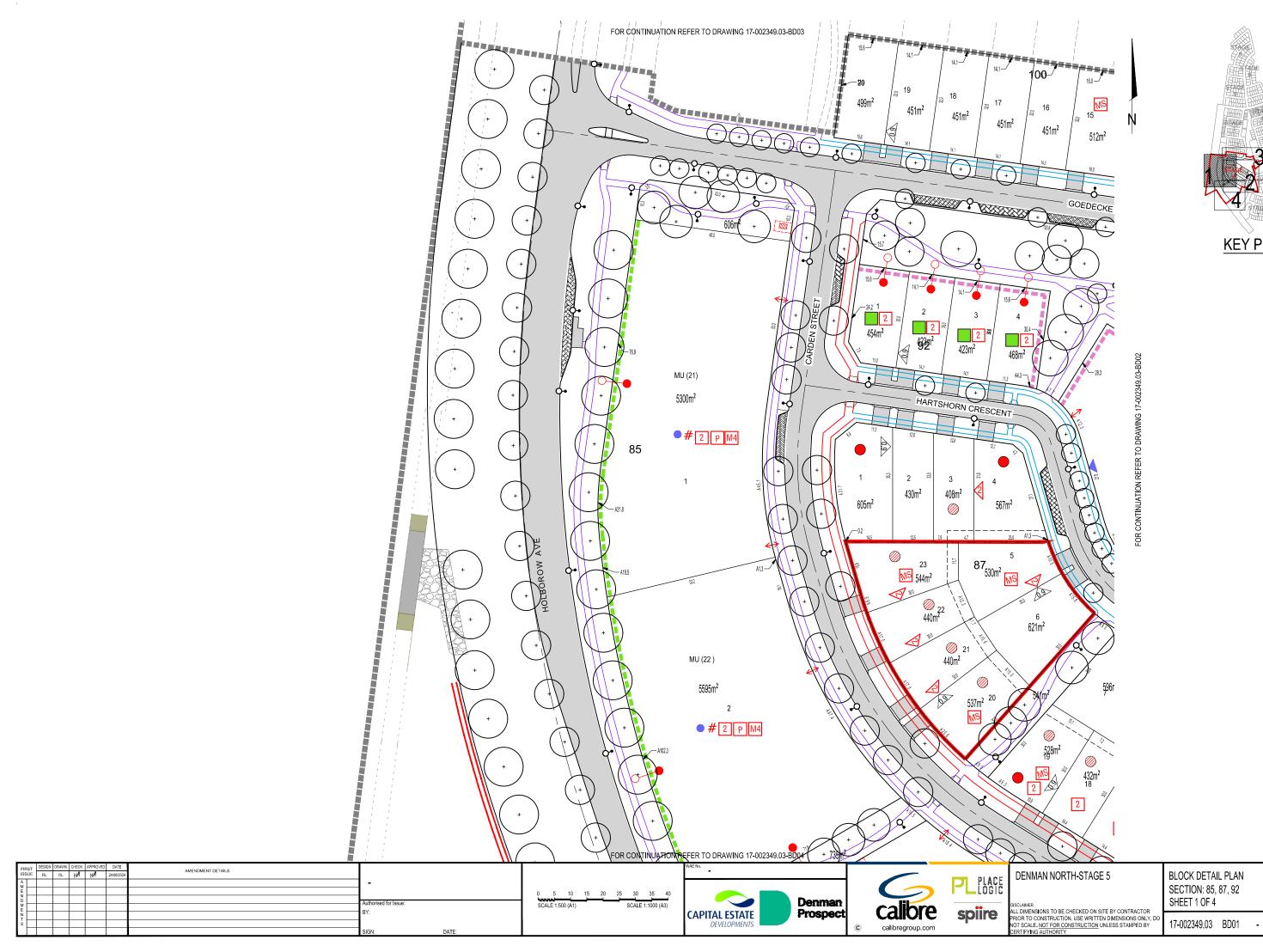
STAGE BOUNDARY	
BLOCK SECTION AND IDENTIFIER	BA a
BLOCK AREA / BOUNDARY LENGTH	400m ² 4.54
3.5m COMBINED EASEMENT (Sewer and Stormwater)	
MANDATORY SIDE BOUNDARY 2 GARAGE LOC	ATION
MINIMUM 0.0m SETBACK - GARAGE/CARPORT ONLY - side boundary setbacks apply for a maximum wall length of 8m	Â
MINIMUM 0.9m SETBACK - GARAGE/CARPORT ONLY - The maximum wall length of 8m	Â
MINIMUM 1.0m SETBACK - GARAGE/CARPORT ONLY - The maximum wall length of 8m	Â
MINIMUM 4.5m SETBACK - GARAGE ONLY	4.5
BUILT FORM SETBACKS	
MINIMUM SETBACK 4m - ALL FLOORS	
MINIMUM SETBACK 1.5m (UPPER FLOOR LEVEL ONLY) - side boundary setbacks apply to the upper floor level to the nominated boundary within the Primary Building Zone only - Unscreened element for upper floor walls at nominated setbacks apply as per the relevant Territory Plan code	
MINIMUM 0.0m SETBACK - ALL FLOORS - Setbacks apply to all floor levels to the nominated boundary within the Primary Building Zone only - Unscreened element for walls at nominated setbacks apply as per the relevant Territory Plan code	
MINIMUM 1.0m SETBACK - UPPER FLOOR LEVEL ONLY - Side boundary setbacks apply to the upper floor level to the nominated boundary within the Primary Building Zone only - Unscreened element for upper floor walls at nominated setbacks apply as per the relevant Territory Plan code	
MINIMUM 1.5m SETBACK - ALL FLOORS - Side boundary setbacks apply to all floor levels to the nominated boundary within the Primary Building Zone only. - Unscreened element for upper floor walls at nominated setbacks apply as per the relevant Territory Plan code	
MINIMUM 3.0m SETBACK - ALL FLOORS	
MANDATORY MINIMUM 2 STOREYS MANDATORY 3 STOREYS MAXIMUM 2 STOREYS	2 3 M2
MAXIMUM 3 STOREYS	M3
MAXIMUM 4 STOREYS	M4
MANDATORY SURVEILLANCE BLOCK	S

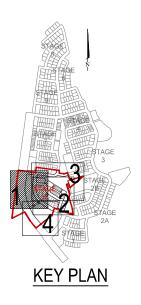
MANDATORY SIDE BOUNDARY 2 - REFER SINGLE DWELLING HOUSING DEVELOPMENT CODE	Þ	WATER METER ENCLOSURE (2mx2m) OR WATER METER CABINET AS PER ICON WATER SD 3307-C
MID SIZED BLOCK (500m ² - 549m ²). R21 OF		RETAINING WALL
THE SINGLE DWELLING HOUSING DEVELOPMENT CODE APPLIES	MS	RAISED PLATFORM
VISITOR PARKING CONTROL - provide all visitor parking requirements as determined by the PARKING AND VEHICULAR ACCESS	Р	
GENERAL CODE within the block POTENTIALLY NOISE AFFECTED BLOCK	#	FRONT FENCING AND COURTYARD CONTROLS
NO BUILD ZONE		COURTYARD WALLS RULES FOR ALL BLOCKS (UNLESS NOMINATED OTHERWISE)
NO VEHICLE ACCESS PERMITTED		Courtyard Walls are permitted where Principal Private Open Space is located in the front zone. Courtyard walls are to comply with the following:
INTEGRATED DEVELOPMENT PARCEL		 Constructed only of brick, block or stonework, any of which may be combined with feature panels. Maximum height of 1.5m
ALTERNATIVE PPOS DELIVERY PERMITTED -Principal Private Open Space permitted above the garage. All other PPOS requirements apply as per the relevant Territory Plan code	Ø	 0.7m minimum setback from the front boundary to facilitate a planting zone forward from the wall Where the length of wall exceeds 6m, it must be articulated by way of an increased setback for a gate and/or an articulated planting zone as follows: a) Gate: A pedestrian gate entry must be setback a minimum 1.5m from front boundary b) Articulated Planting Zone: An additional increased setback from the wall, of minimum of 1m.
STREETLIGHT	•0	
STREET TREE	+	FRONT FENCES AND COURTYARD WALLS for nominated blocks addressing Urban Open Spaces
DRIVEWAY LOCATION (RESIDENTIAL)		No fences permitted to nominated front boundary(s). Courtyard walls are permitted
HEAVY DUTY DRIVEWAY LOCATION		forward of the building zone and are to comply with the following: - Constructed only of brick, block or stonework, any of which may be combined with feature panels.
INDICATIVE MULTI UNIT DRIVEWAY LOCATION	Z	 Maximum height of 1.8m. 0.5m minimum setback from the front boundary to facilitate a planting zone forward
INDICATIVE BUS STOP LOCATION		from the wall - Where the length of the wall exceeds 5m, it must be articulated by way of an increased
SUBSTATION		setback for a gate and/or articulated planting zone as follows: a) Gate: a pedestrian gate entry must be setback a minimum 1.5m from front boundary.
PATH (1.5 - 3.0m wide)		b) Articulated Planting Zone: An additional increased setback from the wall, of a minimum of 1m.
UTILITY MAINTENANCE ACCESS EASEMENT Block requires utility maintenance access easement. Maintenance and emergency access routes are required where sewerage mains are located on leased land and buyers must comply with the requirements of utility providers law. Contact Icon Water on (02) 62483111 or talktous@iconwater.com.au for further information.	>>	FRONT FENCES AND COURTYARD WALLS for nominated blocks fronting Open Spaces Solid fences are not permitted. Courtyard walls are permitted forward of the building zone and are to comply with the following: - Pedestrian access is mandatory and to be achieved by gates and/or pathway connections into the block. - Constructed only of brick, block or stonework, any of which may be combined with
BUILT FORM FEATURE Building feature to address the corner of the road and form a gateway feature into the Estate.	+	feature panels. - Maximum height of 1.8m. - 1.0m minimum setback from the front boundary to facilitate a planting zone forward from the wall - Where the length of the wall exceeds 6m, it must be articulated by way of an increased
KEY LOCATION FOR COMMERCIAL USE Such as cafe adjacent to the central park. The total limit of commercial GFA is 600m2, and a Commercial GFA of Max. 200m2 per tenancy.	•	setback for a gate and/or articulated planting zone as follows: a) Gate: a pedestrian gate entry must be setback a minimum 2.0m from front boundary. b) Articulated Planting Zone: An additional increased setback from the wall, of a minimum of 1m.
DOUBLE FRONTAGE BUILT FORM FEATURE		NO FENCING PERMITTED
Blocks nominated to provide building response to both front boundaries via provision of habitable rooms that overlook both front boundaries.		No fencing permitted to nominated front boundary. Landscape boundary treatment only. Where multi unit site fronts open space, landscape treatment is to provide a vehicular barrier.
PEDESTRIAN ACCESS REQUIRED All front boundaries nominated must provide pedestrian access. Where multi unit site exceeds 10 dwellings multiple entries must be provided.	0•	
BAL 12.5 BUILDING STANDARD TO AS 3959-2009	•	NOTES
GARAGE OPENING CONTROL		1. BLOCK EASEMENTS, DIMENSIONS, AREAS AND NUMBERS ARE SUBJECT TO SURVEY. REFER TO DEPOSITED PLANS FOR CONFIRMATION OF DETAILS.
Garage opening may exceed 50% of building facade width. Upper Floor must provide building articulation.	G	2. STREET TREES, STREET LIGHTS AND SUBSTATION LOCATIONS ARE INDICATIVE ONLY.
r		WAE No.
		PAGE NG.



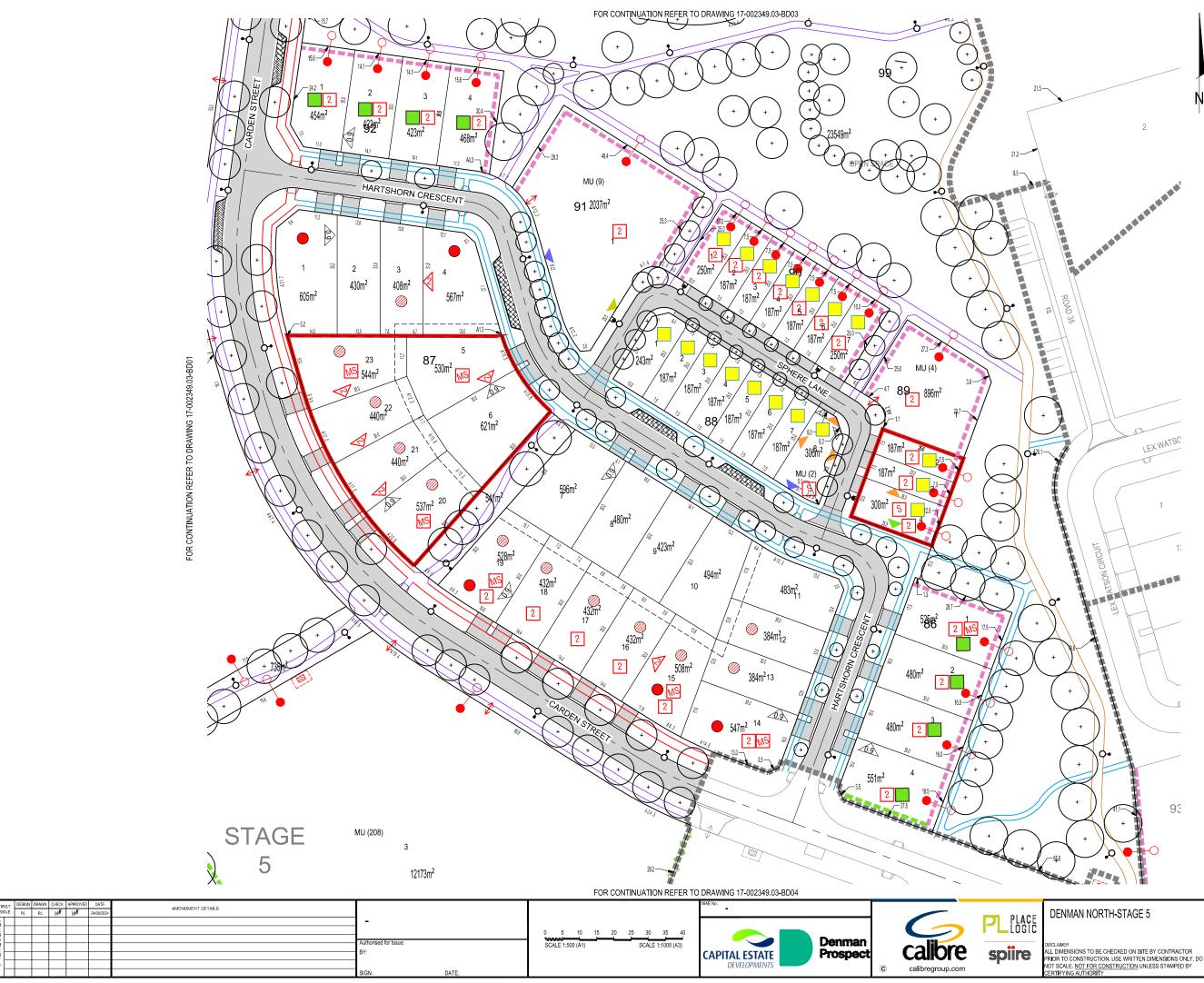


ENMAN NORTH-STAGE 5	BLOCK DETAIL PLAN
	COVER SHEET
DIMENSIONS TO BE CHECKED ON SITE BY CONTRACTOR OR TO CONSTRUCTION. USE WRITTEN DIMENSIONS ONLY, DO S CALE. NOT FOR CONSTRUCTION UNLESS STAMPED BY ITIFYING AUTHORITY	17-002349.03 BD00 -





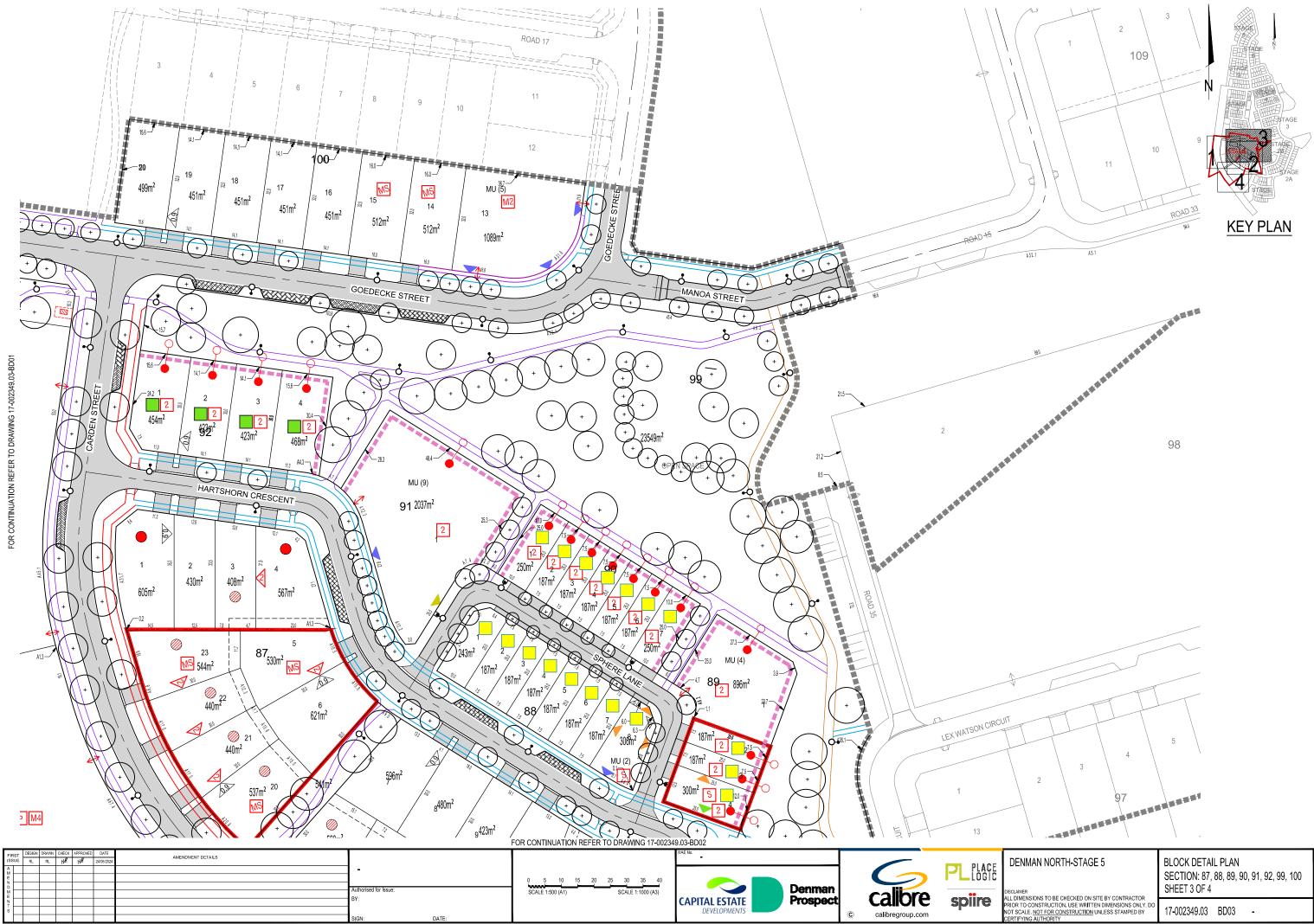
BLOCK DETAIL PLAN	
SECTION: 85, 87, 92 SHEET 1 OF 4	
	-



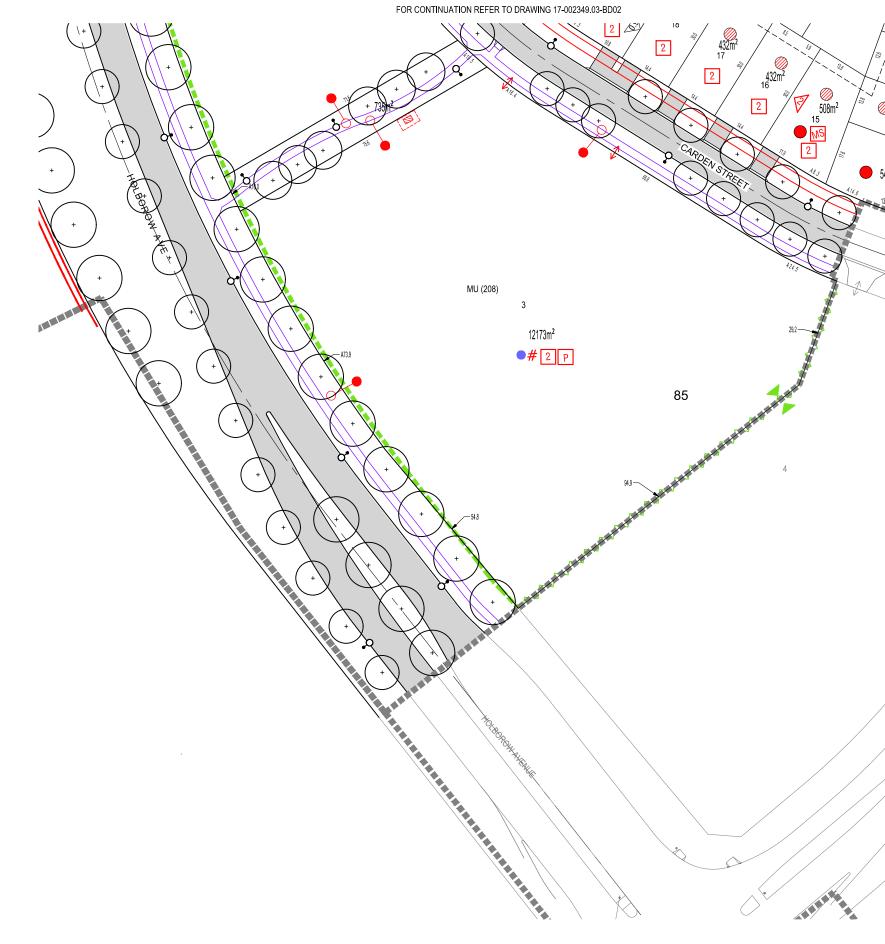


BLOCK DETAIL PLAN SECTION: 86, 87, 88, 89, 90, 91, 92, 99 SHEET 2 OF 4

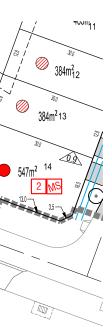
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DENMAN NORTH-STAGE 5	BLOCK DETAIL PLAN SECTION: 87, 88, 89, 90, 91, 92, 99, 100 SHEET 3 OF 4	
ALL DIMENSIONS TO BE CHECKED ON SHE BY CONTRACTOR PRIOR TO CONSTRUCTION. USE WRITTEN DIMENSIONS ONLY, DO NOT SCALE. NOT FOR CONSTRUCTION UNLESS STAMPED BY CERTIFYING AUTHORITY	17-002349.03 BD03 -	







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	DENMAN NORTH-STAGE 5 DISCLAIMER ALL DIMENSIONS TO BE CHECKED ON SITE BY CONTRACTOR PRIOR TO CONSTRUCTION, USE WRITTEN DIMENSIONS ONLY, DO NOT SCALE. NOT FOR CONSTRUCTION CERTIFYING AUTHORITY	BLOCK DETAIL PLAN SECTION: 85 SHEET 4 OF 4
		17-002349.03 BD04 -