

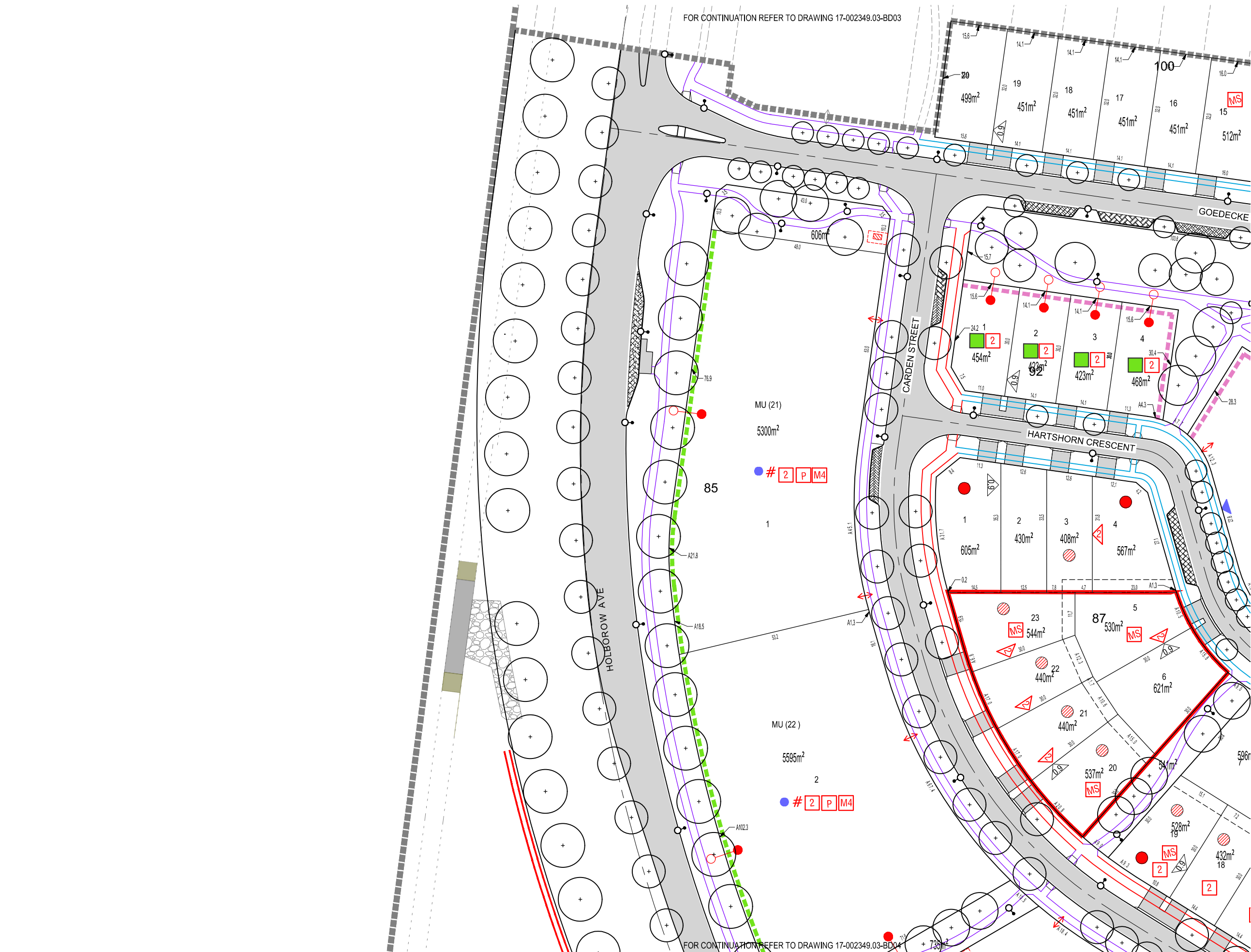
STAGE BOUNDARY			
BLOCK SECTION AND IDENTIFIER		BA a	
BLOCK AREA / BOUNDARY LENGTH		4.00m ² 4.54	
3.5m COMBINED EASEMENT (Sewer and Stormwater)			
MANDATORY SIDE BOUNDARY 2 GARAGE LOCATION			
MINIMUM 0.0m SETBACK - GARAGE/CARPORT ONLY - side boundary setbacks apply for a maximum wall length of 8m			
MINIMUM 0.9m SETBACK - GARAGE/CARPORT ONLY - The maximum wall length of 8m			
MINIMUM 1.0m SETBACK - GARAGE/CARPORT ONLY - The maximum wall length of 8m			
MINIMUM 4.5m SETBACK - GARAGE ONLY			
BUILT FORM SETBACKS			
MINIMUM SETBACK 4m - ALL FLOORS			
MINIMUM SETBACK 1.5m (UPPER FLOOR LEVEL ONLY) - side boundary setbacks apply to the upper floor level to the nominated boundary within the Primary Building Zone only - Unscreened element for upper floor walls at nominated setbacks apply as per the relevant Territory Plan code			
MINIMUM 0.0m SETBACK - ALL FLOORS - Setbacks apply to all floor levels to the nominated boundary within the Primary Building Zone only - Unscreened element for walls at nominated setbacks apply as per the relevant Territory Plan code			
MINIMUM 1.0m SETBACK - UPPER FLOOR LEVEL ONLY - Side boundary setbacks apply to the upper floor level to the nominated boundary within the Primary Building Zone only - Unscreened element for upper floor walls at nominated setbacks apply as per the relevant Territory Plan code			
MINIMUM 1.5m SETBACK - ALL FLOORS - Side boundary setbacks apply to all floor levels to the nominated boundary within the Primary Building Zone only. - Unscreened element for upper floor walls at nominated setbacks apply as per the relevant Territory Plan code			
MINIMUM 3.0m SETBACK - ALL FLOORS			
MANDATORY MINIMUM 2 STOREYS			
MANDATORY 3 STOREYS			
MAXIMUM 2 STOREYS			
MAXIMUM 3 STOREYS			
MAXIMUM 4 STOREYS			
MANDATORY SURVEILLANCE BLOCK			

GARAGE OPENING CONTROL
Garage opening may exceed 50% of building facade width. Upper Floor must provide building articulation.

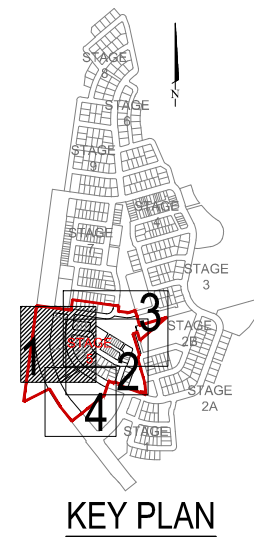
2. STREET TREES, STREET LIGHTS AND SUBSTATION LOCATIONS ARE INDICATIVE ONLY.



AMENDMENTS	FIRST ISSUE	DESIGN RL	DRAWN RL	CHECK	APPROVED	DATE 24/06/2024	AMENDMENT DETAILS	- Authorised for Issue: BY: SIGN: _____ DATE: _____	<div><div></div><div></div></div>	<div><div> calibregroup.com</div><div></div><div></div></div>	DENMAN NORTH-STAGE 5	BLOCK DETAIL PLAN COVER SHEET	17-002349.03 BD00 -



FOR CONTINUATION REFER TO DRAWING 17-002349.03-BD02



FIRST ISSUE	DESIGN RL	DRAWN RL	CHECK RL	APPROVED RL	DATE

AMENDMENT DETAILS

Authorised for Issue:
BY:
SIGN: DATE:

0 5 10 15 20 25 30 35 40
SCALE 1:500 (A1) SCALE 1:1000 (A3)

WAE No.



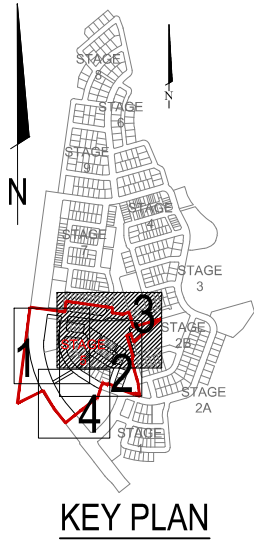
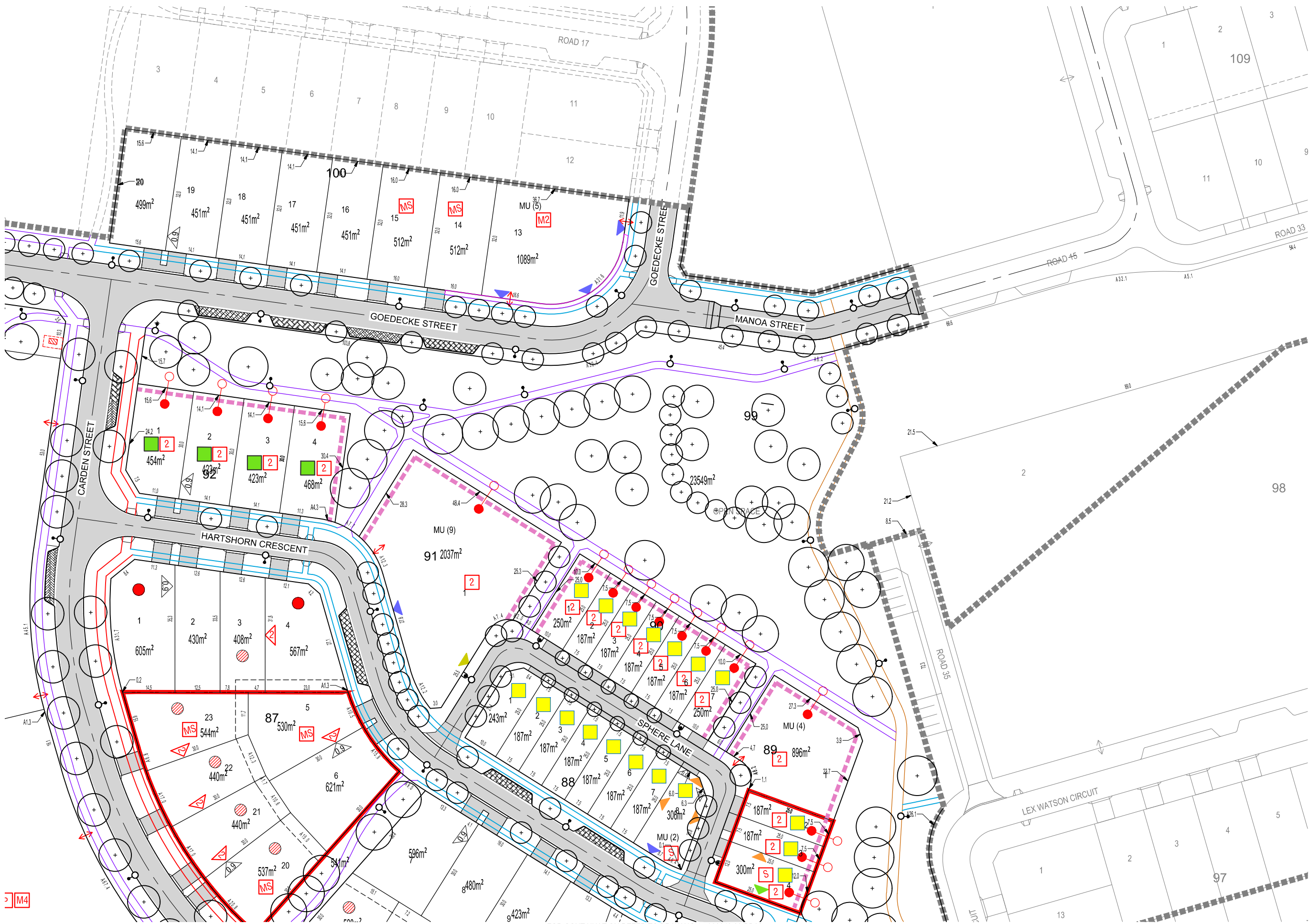
DENMAN NORTH-STAGE 5

DISCLAIMER
ALL DIMENSIONS TO BE CHECKED ON SITE BY CONTRACTOR
PRIOR TO CONSTRUCTION. USE WRITTEN DIMENSIONS ONLY. DO
NOT SCALE. NOT FOR CONSTRUCTION UNLESS STAMPED BY
CERTIFYING AUTHORITY

BLOCK DETAIL PLAN
SECTION: 85, 87, 92
SHEET 1 OF 4

17-002349.03 BD01

FOR CONTINUATION REFER TO DRAWING 17-002349.03-BD001



FIRST ISSUE	DESIGN	DRAWN	CHECK	APPROVED	DATE	AMENDMENT DETAILS	-	Authorised for Issue: BY: SIGN: DATE:	0 5 10 15 20 25 30 35 40 SCALE 1:500 (A1) SCALE 1:1000 (A3)	WAE No. -	Denman Prospect	calibre calibregroup.com	PL PLACE LOGIC spire	DISCLAIMER ALL DIMENSIONS TO BE CHECKED ON SITE BY CONTRACTOR PRIOR TO CONSTRUCTION. USE WRITTEN DIMENSIONS ONLY. DO NOT SCALE. NOT FOR CONSTRUCTION UNLESS STAMPED BY CERTIFYING AUTHORITY	DENMAN NORTH-STAGE 5	BLOCK DETAIL PLAN SECTION: 87, 88, 89, 90, 91, 92, 99, 100 SHEET 3 OF 4

