

LEGEND

STAGE BOUNDARY	
BLOCK SECTION AND IDENTIFIER	<b>BA a</b>
BLOCK AREA / BOUNDARY LENGTH	400m <sup>2</sup> 4.54
3.5m COMBINED EASEMENT (Sewer and Stormwater)	
MANDATORY SIDE BOUNDARY 2 GARAGE LOCATION	
MINIMUM 0.0m SETBACK - GARAGE/CARPORT ONLY	
- Side boundary setbacks apply for a maximum wall length of 8m	
MINIMUM 0.9m SETBACK - GARAGE/CARPORT ONLY	
- The maximum wall length of 8m	
MINIMUM 1.0m SETBACK - GARAGE/CARPORT ONLY	
- The maximum wall length of 8m	
MINIMUM 4.5m SETBACK - GARAGE ONLY	
BUILT FORM SETBACKS	
MINIMUM SETBACK 4m - ALL FLOORS	
MINIMUM SETBACK 1.5m (UPPER FLOOR LEVEL ONLY)	
- Side boundary setbacks apply to the upper floor level to the nominated boundary within the Primary Building Zone only.	
- Unscreened element for upper floor walls at nominated setbacks apply as per the relevant Territory Plan code.	
MINIMUM 0.0m SETBACK - ALL FLOORS	
- Setbacks apply to all floor levels to the nominated boundary within the Primary Building Zone only.	
- Unscreened element for walls at nominated setbacks apply as per the relevant Territory Plan code.	
MINIMUM 1.0m SETBACK - UPPER FLOOR LEVEL ONLY	
- Side boundary setbacks apply to the upper floor level to the nominated boundary within the Primary Building Zone only.	
- Unscreened element for upper floor walls at nominated setbacks apply as per the relevant Territory Plan code.	
MINIMUM 1.5m SETBACK - ALL FLOORS	
- Side boundary setbacks apply to all floor levels to the nominated boundary within the Primary Building Zone only.	
- Unscreened element for upper floor walls at nominated setbacks apply as per the relevant Territory Plan code.	
MINIMUM 3.0m SETBACK - ALL FLOORS	
GENERAL CONTROLS	
LIMITED DEVELOPMENT OPPORTUNITY	
MANDATORY MINIMUM 2 STOREYS	
MANDATORY 3 STOREYS	
MAXIMUM 2 STOREYS	
MAXIMUM 3 STOREYS	
MAXIMUM 4 STOREYS	
MANDATORY SURVEILLANCE BLOCK	

LEGEND

MANDATORY SIDE BOUNDARY 2 - REFER SINGLE DWELLING HOUSING DEVELOPMENT CODE	
BLOCKS OF 500-550m <sup>2</sup> SUBJECT TO MIDSIZE BLOCK PROVISIONS	
VISITOR PARKING CONTROL - provide all visitor parking requirements as determined by the PARKING AND VEHICULAR ACCESS GENERAL CODE within the block	
POTENTIALLY NOISE AFFECTED BLOCK	
NO BUILD ZONE	
NO VEHICLE ACCESS PERMITTED	
INTEGRATED DEVELOPMENT PARCEL	
ALTERNATIVE PPOS DELIVERY PERMITTED - Principal Private Open Space permitted above garage. All other PPOS requirements apply as per the relevant Territory Plan code	
STREETLIGHT	
STREET TREE	
DRIVEWAY LOCATION (RESIDENTIAL)	
HEAVY DUTY DRIVEWAY LOCATION	
INDICATIVE MULTI UNIT DRIVEWAY LOCATION	
INDICATIVE BUS STOP LOCATION	
SUBSTATION	
PATH (1.5 - 3.0 wide)	
UTILITY MAINTENANCE ACCESS EASEMENT Block requires utility maintenance access easement. Maintenance and emergency access routes are required where sewerage mains are located on leased land and buyers must comply with the requirements of utility providers law. Contact icon water on (02) 62483111 or talktous@iconwater.com.au for further information.	
BUILT FORM FEATURE Building feature to address the corner of the road and form a gateway feature into the Estate.	
KEY LOCATION FOR COMMERCIAL USE Such as cafe adjacent to the central park. The total limit of commercial GFA is 600m2, and a Commercial GFA of Max. 200m2 per tenancy.	
DOUBLE FRONTAGE BUILT FORM FEATURE Blocks nominated to provide building response to both front boundaries via provision of habitable rooms that overlook both front boundaries.	
PEDESTRIAN ACCESS REQUIRED All front boundaries nominated must provide pedestrian access. Where multi unit site exceeds 10 dwellings multiple entries must be provided.	
BAL 12.5 BUILDING STANDARD TO AS 3959-2009	
GARAGE OPENING CONTROL Garage opening may exceed 50% of building facade width. Upper Floor must provide building articulation.	

RETAINING WALL

RAISED PLATFORM

LEGEND



FRONT FENCING AND COURTYARD CONTROLS

**FRONT FENCES AND COURTYARD WALLS** for nominated blocks addressing Urban Open Spaces

No fences permitted to nominated front boundary(s). Courtyard walls are permitted forward of the building zone and are to be:

- Constructed only of brick, block or stonework, any of which may be combined with feature panels.
- Maximum height of 1.8m.
- Located on the block boundary or in a location setback from the block boundary as required to permit access by service authorities

**NO FENCING PERMITTED**

No fencing permitted to nominated front boundary. Landscape boundary treatment only. Where multi unit site fronts open space, landscape treatment is to provide vehicula barrier.

**COMMUNITY GARDEN FENCE**

Pool type fence with rabbit proof chain link fence inlay. Maximum 1.5m height

NOTES

1. BLOCK EASEMENTS, DIMENSIONS, AREAS AND NUMBERS ARE SUBJECT TO SURVEY. REFER TO DEPOSITED PLANS FOR CONFIRMATION OF DETAILS.
2. STREET TREES, STREET LIGHTS AND SUBSTATION LOCATIONS ARE INDICATIVE ONLY.
3. ALL DIMENSIONS ARE IN METRES.

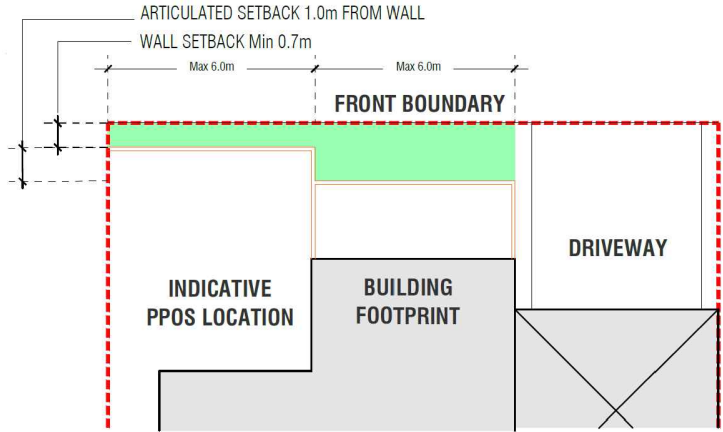


FIGURE 1. EXAMPLE - COURTYARD WALL, SHOWING ARTICULATED PLANTING ZONE SETBACK

PLANTING ZONE

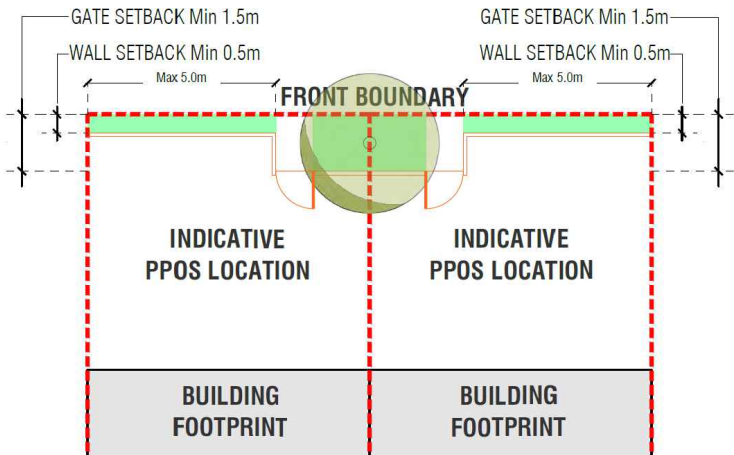


FIGURE 2. EXAMPLE - COURTYARD WALL LOCATION, SHOWING A TERRACE HOME FRONTING URBAN OPEN SPACE, WITH AN INCREASED SETBACK FOR A GATE ENTRY.

PLANTING ZONE TREE PLANTING GATE

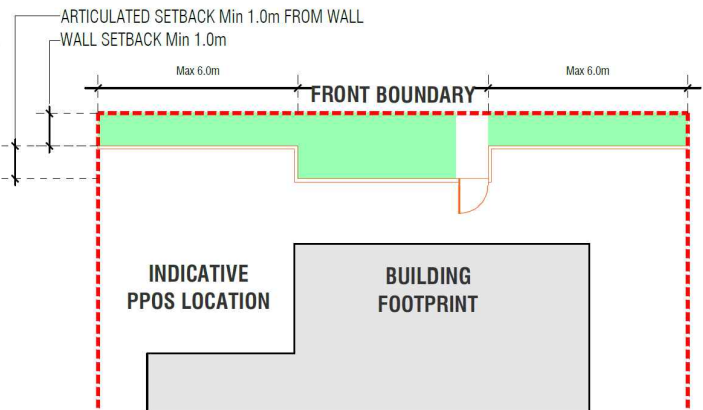


FIGURE 3. EXAMPLE - COURTYARD WALL, SHOWING A HOME FRONTING OPEN SPACE, WITH AN ARTICULATED GATE ENTRY AND PLANTING ZONE.

PLANTING ZONE GATE

file name: 308664CS001.dwg, input name: CS000, plotted by: Kate Robinson, file location: G:\3038664\CA\ACAD\sales plans\stage 1 & 2, plot date: 30/01/2025 10:11 AM, Sheet of Sheets

E	WORK AS EXECUTED	C.J.C	29-01-25
D	BLOCK NUMBERS ADJUSTED	C.J.C	20-04-22
C	BACK OF BLOCK WATER SERVICING ITEMS REMOVED FROM LEGEND	BC	20-09-21
B	AMENDED IN ACCORDANCE WITH CLIENT COMMENTS	BC	27-07-21
A	ISSUED TO CLIENT	BC	03-05-21
Rev	Amendments	Approved	Date

1:500@ A1  
SCALE  
1:1000@ A3



© Spiire Australia Pty Ltd All Rights Reserved  
This document is produced by Spiire Australia Pty Ltd solely for the benefit of and use by the client in accordance with the terms of the retainer. Spiire Australia Pty Ltd does not and shall not assume any responsibility or liability whatsoever to any third party arising out of any use or reliance by third party on the content of this document.



Suite 3, Level 1, 243 Northbourne Ave Lyneham 2602  
Australian Capital Territory Australia T 61 2 6102 1000  
spiire.com.au ABN 55 050 029 635



Designed  
R. MURDOCK  
Authorised  
B. CARGILL



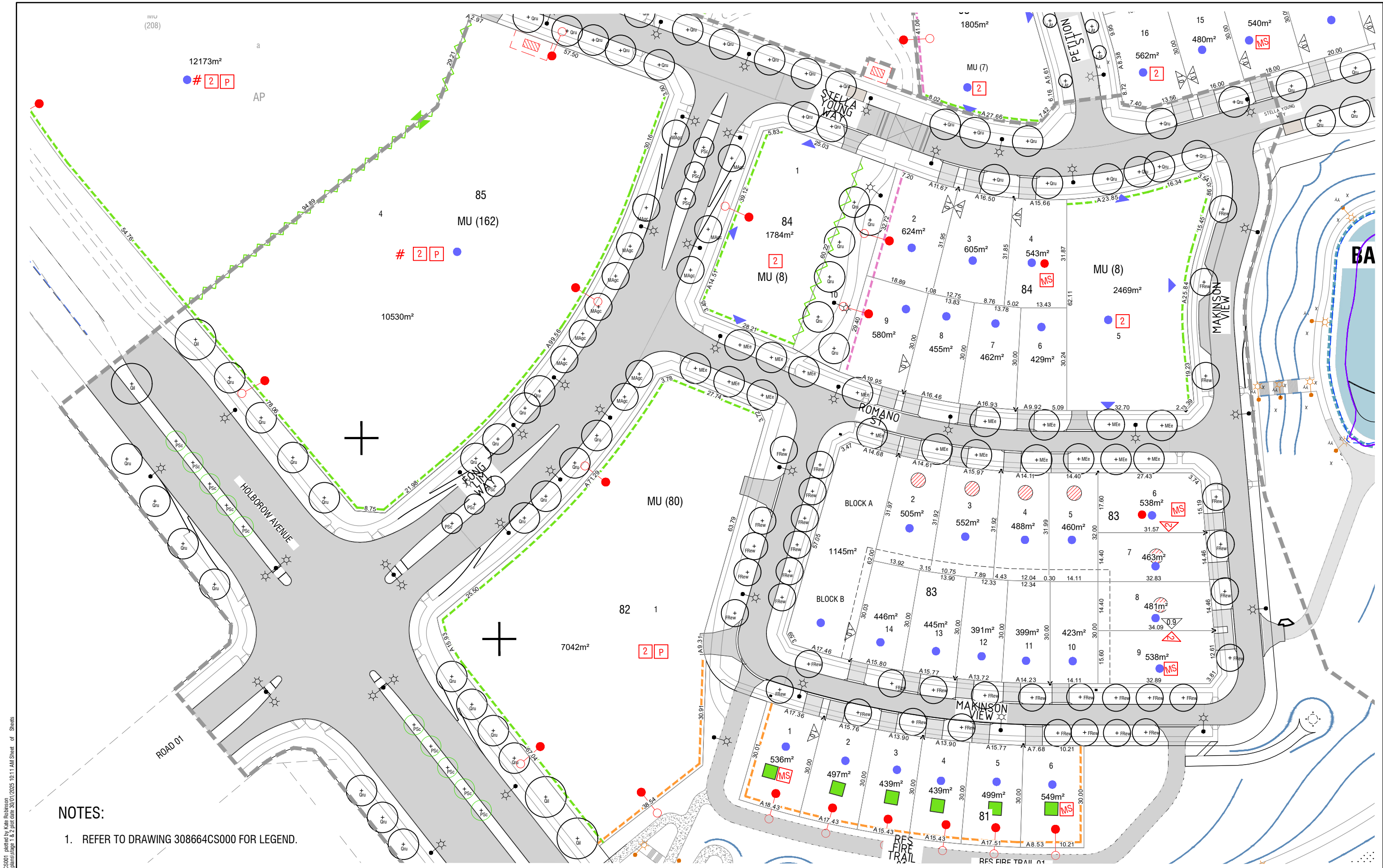
Checked  
B. CARGILL  
Date  
20-04-21

**DENMAN PROSPECT 2**  
**STAGES 1 2A & 2B**  
**BLOCK DETAIL PLAN**  
**LEGEND**

ACT  
CED

Drg No  
**308664CS000**

Rev  
**E**



NOTES:

1. REFER TO DRAWING 308664CS000 FOR LEGEND.

F	WORKS AS EXECUTED	C.J.C	29-01-25
E	FILL ON BLOCKS UPDATED	C.J.C	18-05-23
D	ISSUED FOR APPROVAL	C.J.C	28-04-22
C	BLOCK NUMBERS ADJUSTED	C.J.C	20-04-22
B	FILL ON BLOCKS UPDATED. VIEWPORT MOVED TO REFLECT NEW STAGING	BC	20-09-21
A	ISSUED TO CLIENT	BC	03-05-21
Rev	Amendments	Approved	Date

1:500@ A1  
SCALE  
1:1000@ A3



© Spiire Australia Pty Ltd All Rights Reserved  
This document is produced by Spiire Australia Pty Ltd solely for the benefit of and use by the client in accordance with the terms of the retainer. Spiire Australia Pty Ltd does not and shall not assume any responsibility or liability whatsoever to any third party arising out of any use or reliance by third party on the content of this document.



Suite 3, Level 1, 243 Northbourne Ave Lyneham 2602  
Australian Capital Territory Australia T 61 2 6102 1000  
spiire.com.au ABN 55 050 029 635



Designed  
R. MURDOCK  
Authorised  
B. CARGILL



Checked  
B. CARGILL  
Date  
20-04-21

DENMAN PROSPECT 2  
STAGES 1 2A & 2B  
BLOCK DETAIL PLAN  
STAGE 1

ACT  
CED

Drg No  
308664CS001

Rev  
F

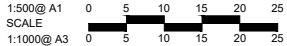




KEY PLAN

NOTES:  
1. REFER TO DRAWING 308664CS000 FOR LEGEND.

E WORKS AS EXECUTED			C.J.C	29-01-25
D SEWER MAINTENANCE ACCESS SYMBOLS ADDED			C.J.C	30-10-2023
C AV, AU WATER TIES MOVED TO FRONT OF BLOCK			BC	20-09-21
B AMENDED IN ACCORDANCE WITH CLIENT COMMENTS			BC	27-07-21
A ISSUED TO CLIENT			BC	07-05-21
Rev	Amendments	Approved	Date	

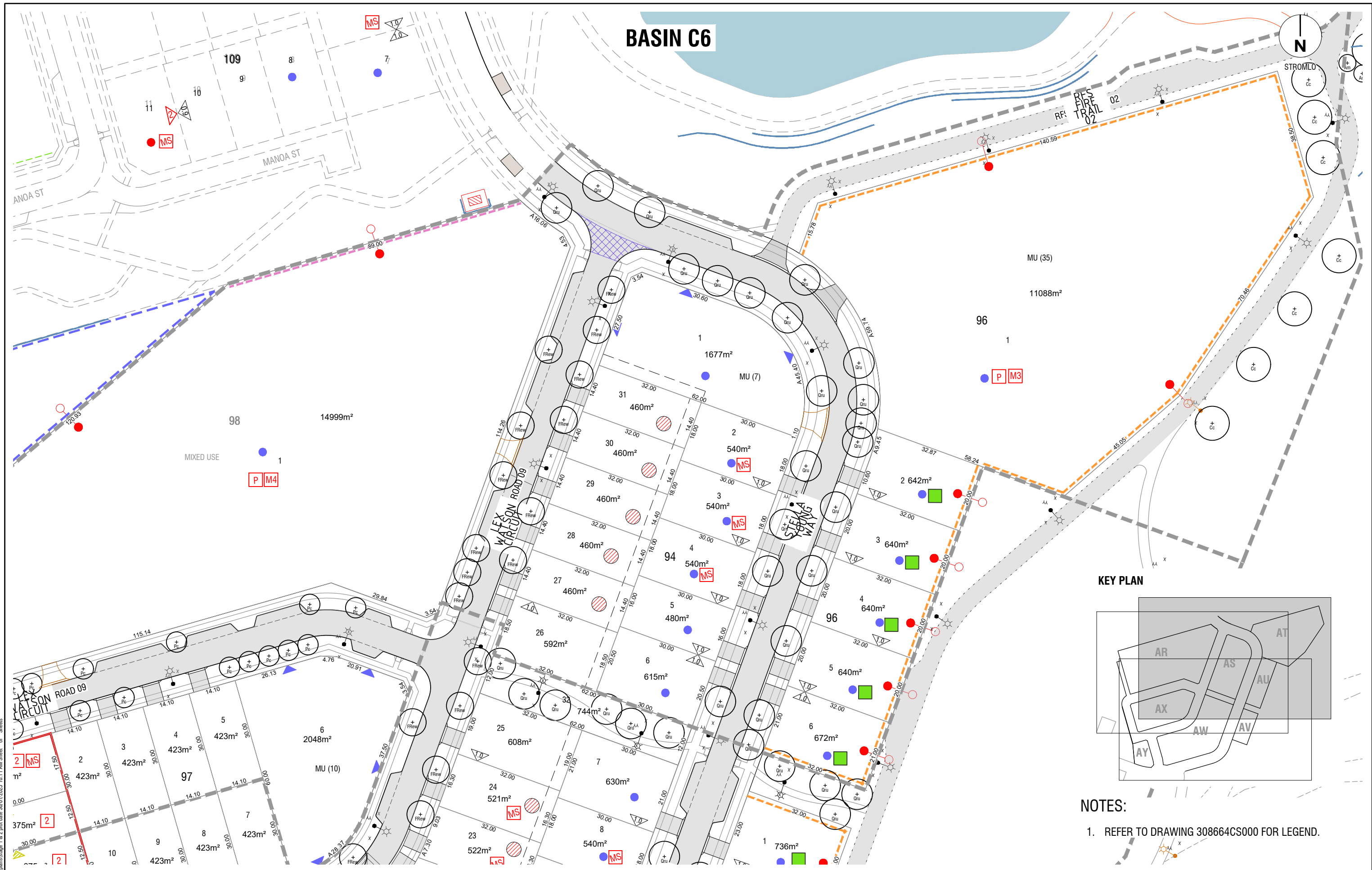


© Spiire Australia Pty Ltd All Rights Reserved  
This document is produced by Spiire Australia Pty Ltd solely for the benefit of and use by the client in accordance with the terms of the retainer. Spiire Australia Pty Ltd does not and shall not assume any responsibility or liability whatsoever to any third party arising out of any use or reliance by third party on the content of this document.

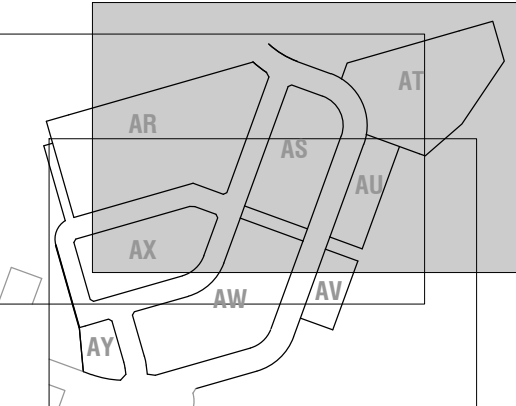
**spiire**  
Suite 3, Level 1, 243 Northbourne Ave Lyneham 2602  
Australian Capital Territory Australia T 61 2 6102 1000  
spiire.com.au ABN 55 050 029 635

**CAPITAL ESTATE DEVELOPMENTS**  
Designed  
R. MURDOCK  
Authorised  
B. CARGILL  
Checked  
B. CARGILL  
Date  
07-05-2021

**DENMAN PROSPECT 2**  
**STAGES 1 2A & 2B**  
**BLOCK DETAIL PLAN**  
**STAGE 2 - SECTION AX, AY, AW, AV**  
ACT  
CED  
Drg No  
**308664CS010**  
Rev  
**E**



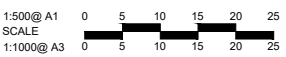
KEY PLAN



NOTES:

1. REFER TO DRAWING 308664CS000 FOR LEGEND.

Rev	Amendments	Approved	Date
E	WORKS AS EXECUTED	C.J.C	29-01-25
D	SEWER MAINTENANCE ACCESS SYMBOLS ADDED	C.J.C	30-10-2023
C	AU WATER TIES MOVED TO FRONT OF BLOCK	BC	20-09-21
B	AMENDED IN ACCORDANCE WITH CLIENT COMMENTS	BC	27-07-21
A	ISSUED TO CLIENT	BC	07-05-21



© Spiire Australia Pty Ltd All Rights Reserved  
This document is produced by Spiire Australia Pty Ltd solely for the benefit of and use by the client in accordance with the terms of the retainer. Spiire Australia Pty Ltd does not and shall not assume any responsibility or liability whatsoever to any third party arising out of any use or reliance by third party on the content of this document.

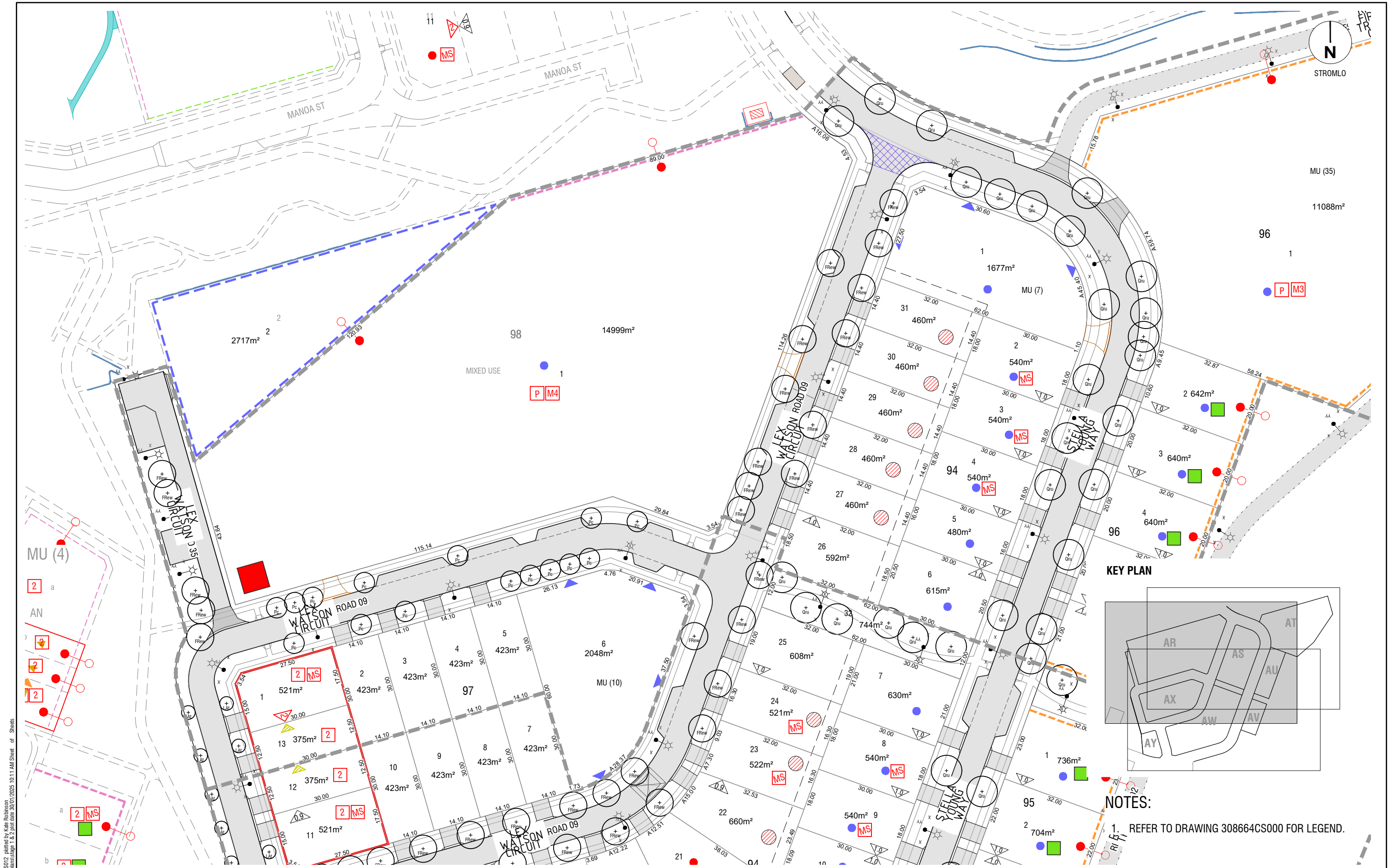
**spiire**  
Suite 3, Level 1, 243 Northbourne Ave Lyneham 2602  
Australian Capital Territory Australia T 61 2 6102 1000  
spiire.com.au ABN 55 050 029 635

**CAPITAL ESTATE DEVELOPMENTS**  
Designed  
R. MURDOCK  
Authorised  
B. CARGILL

**Denman Prospect**  
Checked  
B. CARGILL  
Date  
07-05-2021

**DENMAN PROSPECT 2**  
**STAGES 1 2A & 2B**  
**BLOCK DETAIL PLAN**  
**STAGE 2 - SECTION AS, AU, AT**  
ACT  
CED  
Drg No  
**308664CS011**  
Rev  
**E**





file name: 308664CS001.dwg, input name: CS012, plotted by: Kate Robinson  
file location: G:\308664CS001.dwg, ACAD variables: plot stage: 1 & 2, plot date: 30/01/2025 10:11 AM, Sheet of: Sheets

H	WORKS AS EXECUTED	C.J.C.	29-01-25
G	SEWER MAINTENANCE ACCESS SYMBOLS ADDED	C.J.C.	30-10-2023
F	FILL ON BLOCKS UPDATED	C.J.C.	18-05-23
E	BAL RATINGS UPDATED	C.J.C.	28-04-22
D	BLOCK NUMBERS ADJUSTED	C.J.C.	20-04-22
C	FILL ON BLOCKS UPDATED	BC	20-09-21
B	AMENDED IN ACCORDANCE WITH CLIENT COMMENTS	BC	27-07-21
A	ISSUED TO CLIENT	BC	10-05-21
Rev	Amendments	Approved	Date

1:500@ A1  
SCALE  
1:1000@ A3



© Spiire Australia Pty Ltd All Rights Reserved  
This document is produced by Spiire Australia Pty Ltd solely for the benefit of and use by the client in accordance with the terms of the retainer. Spiire Australia Pty Ltd does not and shall not assume any responsibility or liability whatsoever to any third party arising out of any use or reliance by third party on the content of this document.

**spiire**

Suite 3, Level 1, 243 Northbourne Ave Lyneham 2602  
Australian Capital Territory Australia T 61 2 6102 1000  
spiire.com.au ABN 55 050 029 635

**CAPITAL ESTATE**  
DEVELOPMENTS

Designed  
R. MURDOCK  
Authorised  
B. CARGILL

**Denman Prospect**

Checked  
B. CARGILL  
Date  
07-05-2021

**DENMAN PROSPECT 2**  
**STAGES 1 2A & 2B**  
**BLOCK DETAIL PLAN**  
**STAGE 2 - SECTION AR**

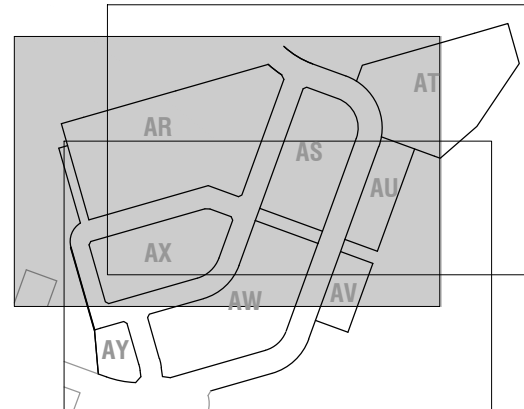
ACT

CED

Drg No  
**308664CS012**

Rev  
**H**

KEY PLAN



NOTES:

1. REFER TO DRAWING 308664CS000 FOR LEGEND.