

LEGEND

STAGE BOUNDARY	
BLOCK SECTION AND IDENTIFIER	100 12
BLOCK AREA / BOUNDARY LENGTH	4 00m ² 4.54
3.5m COMBINED EASEMENT (Sewer and Stormwater)	

MANDATORY SIDE BOUNDARY 2 GARAGE LOCATION

MINIMUM 0.0m SETBACK - GARAGE/CARPORT ONLY - side boundary setbacks apply for a maximum wall length of 8m	
MINIMUM 0.9m SETBACK - GARAGE/CARPORT ONLY - The maximum wall length of 8m	
MINIMUM 1.0m SETBACK - GARAGE/CARPORT ONLY - The maximum wall length of 8m	
MINIMUM 4.5m SETBACK - GARAGE ONLY	

BUILT FORM SETBACKS

MINIMUM SETBACK 4m - ALL FLOORS	
MINIMUM SETBACK 1.5m (UPPER FLOOR LEVEL ONLY) - side boundary setbacks apply to the upper floor level to the nominated boundary within the Primary Building Zone only - Unscreened element for upper floor walls at nominated setbacks apply as per the relevant Territory Plan code	
MINIMUM 0.0m SETBACK - ALL FLOORS - Setbacks apply to all floor levels to the nominated boundary within the Primary Building Zone only - Unscreened element for walls at nominated setbacks apply as per the relevant Territory Plan code	
MINIMUM 1.0m SETBACK - UPPER FLOOR LEVEL ONLY - Side boundary setbacks apply to the upper floor level to the nominated boundary within the Primary Building Zone only - Unscreened element for upper floor walls at nominated setbacks apply as per the relevant Territory Plan code	
MINIMUM 1.5m SETBACK - ALL FLOORS - Side boundary setbacks apply to all floor levels to the nominated boundary within the Primary Building Zone only. - Unscreened element for upper floor walls at nominated setbacks apply as per the relevant Territory Plan code	
MINIMUM 3.0m SETBACK - ALL FLOORS	

MANDATORY MINIMUM 2 STOREYS	
MANDATORY 3 STOREYS	
MAXIMUM 2 STOREYS	
MAXIMUM 3 STOREYS	
MAXIMUM 4 STOREYS	
MANDATORY SURVEILLANCE BLOCK	

MANDATORY SIDE BOUNDARY 2 - REFER
SINGLE DWELLING HOUSING
DEVELOPMENT CODE

MID SIZED BLOCK (500m² - 549m²). R21 OF
THE SINGLE DWELLING HOUSING
DEVELOPMENT CODE APPLIES

VISITOR PARKING CONTROL - provide all
visitor parking requirements as determined by
the PARKING AND VEHICULAR ACCESS
GENERAL CODE within the block
POTENTIALLY NOISE AFFECTED BLOCK

NO BUILD ZONE

NO VEHICLE ACCESS PERMITTED

INTEGRATED DEVELOPMENT PARCEL

ALTERNATIVE PPOS DELIVERY PERMITTED
-Principal Private Open Space permitted above
the garage. All other PPOS requirements apply as
per the relevant Territory Plan code

STREETLIGHT

STREET TREE

DRIVEWAY LOCATION (RESIDENTIAL)

HEAVY DUTY DRIVEWAY LOCATION

INDICATIVE MULTI UNIT DRIVEWAY
LOCATION

INDICATIVE BUS STOP LOCATION

SUBSTATION

PATH (1.5 - 3.0m wide)

UTILITY MAINTENANCE ACCESS
EASEMENT
Block requires utility maintenance access
easement. Maintenance and emergency
access routes are required where sewerage
mains are located on leased land and buyers
must comply with the requirements of utility
providers law. Contact Icon Water on (02)
62483111 or talktous@iconwater.com.au for
further information.

BUILT FORM FEATURE
Building feature to address the corner of the road
and form a gateway feature into the Estate.

KEY LOCATION FOR COMMERCIAL USE
Such as cafe adjacent to the central park. The
total limit of commercial GFA is 600m2, and a
Commercial GFA of Max. 200m2 per tenancy.

DOUBLE FRONTAGE BUILT FORM FEATURE
Blocks nominated to provide building response to
both front boundaries via provision of habitable
rooms that overlook both front boundaries.

PEDESTRIAN ACCESS REQUIRED
All front boundaries nominated must provide
pedestrian access. Where multi unit site
exceeds 10 dwellings multiple entries must be
provided.

BAL 12.5 BUILDING STANDARD TO AS
3959-2009

GARAGE OPENING CONTROL
Garage opening may exceed 50% of building
facade width. Upper Floor must provide
building articulation.

WATER METER ENCLOSURE (2mx2m) OR
WATER METER CABINET AS PER ICON
WATER SD 3307-C

RETAINING WALL

RAISED PLATFORM

LIMITED DEVELOPMENT POTENTIAL

FRONT FENCING AND COURTYARD CONTROLS

For nominated blocks
No fences permitted to nominated front boundary(s).
Courtyard walls are permitted are to be:
- Constructed only of brick, block or stonework, any of which may be combined with
feature panels.
- Maximum height of 1.8m.
- Located on the block boundary or in a location setback from the block boundary as
required to permit access by service authorities.

NO FENCING PERMITTED
No fencing permitted to nominated front boundary. Landscape boundary treatment
only. Where multi unit site fronts open space, landscape treatment is to provide a
vehicular barrier.

NOTES

1. BLOCK EASEMENTS, DIMENSIONS, AREAS AND NUMBERS ARE SUBJECT TO SURVEY.
REFER TO DEPOSITED PLANS FOR CONFIRMATION OF DETAILS.
2. STREET TREES, STREET LIGHTS AND SUBSTATION LOCATIONS ARE INDICATIVE ONLY.
3. ALL DIMENSIONS ARE IN METRES

File name: T:\2024\9-04-BD-STAGE 4.dwg, Layout name: COVER SHEET, plotted by: Chelsea Corcoran, File location: G:\3\3\30655\CM\1\ACAD\Sales Plans\Stage 4, sales plan\Block Detail, Plan plot date: 28/05/2025 5:59 PM, Sheet # of # Sheets

A	WORKS AS EXECUTED	CJC	28-05-25
Rev	Amendments	Approved	Date

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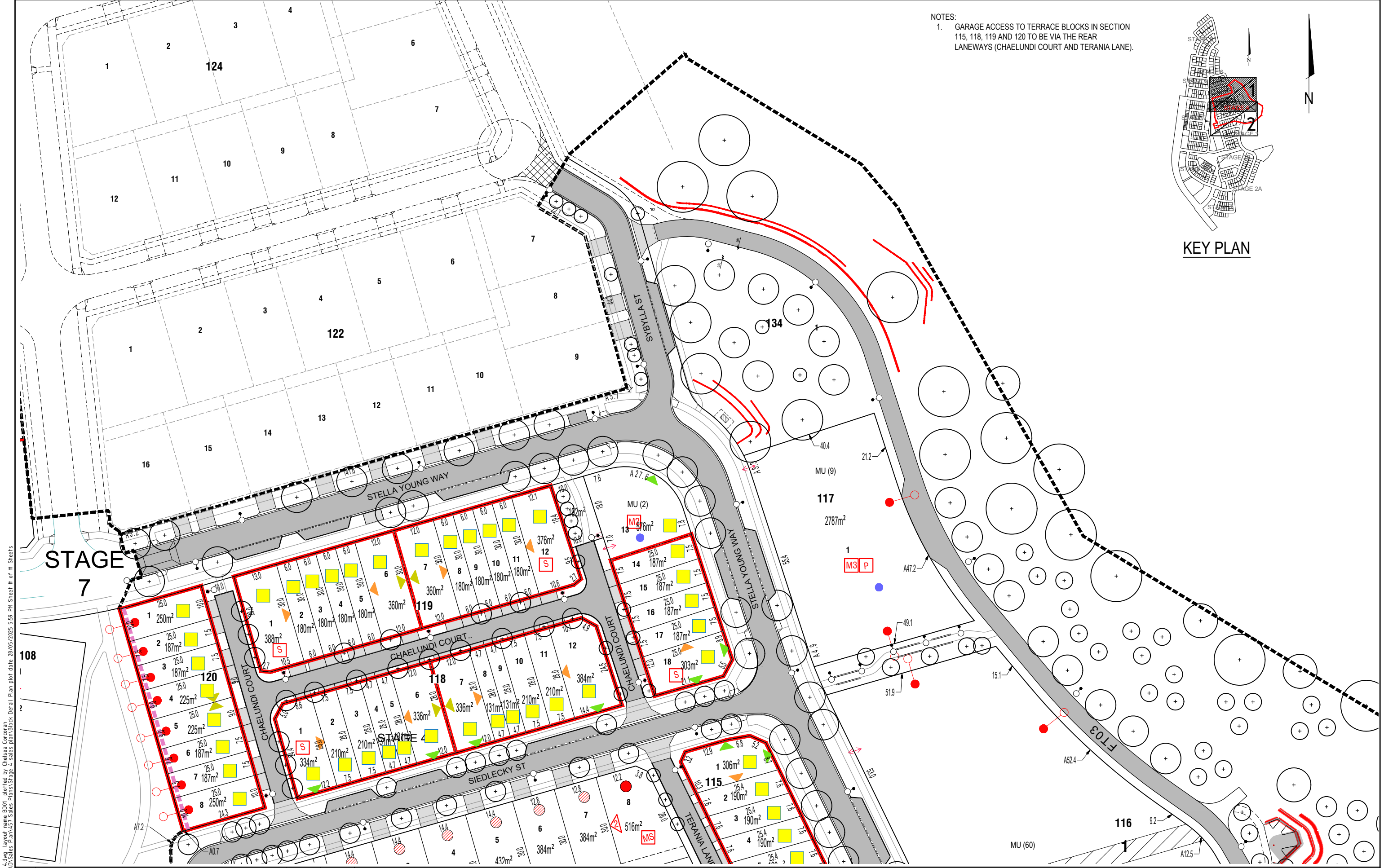
Designed	Checked
Authorised	Date

DENMAN PROSPECT 2
STAGE 4
BLOCK DETAIL PLAN
LEGEND

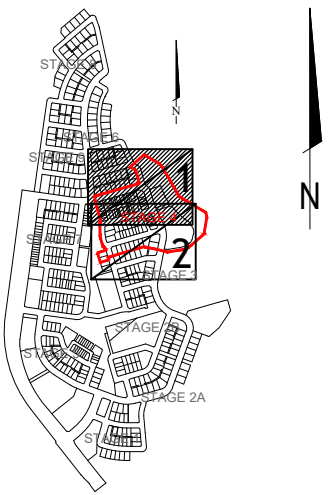
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Drg No
17-002349.04_0

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NOTES:
1. GARAGE ACCESS TO TERRACE BLOCKS IN SECTION 115, 118, 119 AND 120 TO BE VIA THE REAR LANEWAYS (CHAE LUNDI COURT AND TERANIA LANE).



KEY PLAN

file name 17-002349.04-80-STAGE 4.dwg, layout name B001, plotted by Chelsea Corcoran
file location G:\31310655\UN\ACAD\Sales Plans\Stage 4 sales plan\Block Detail Plan plot date 28/05/2025 5:59 PM Sheet # of # Sheets

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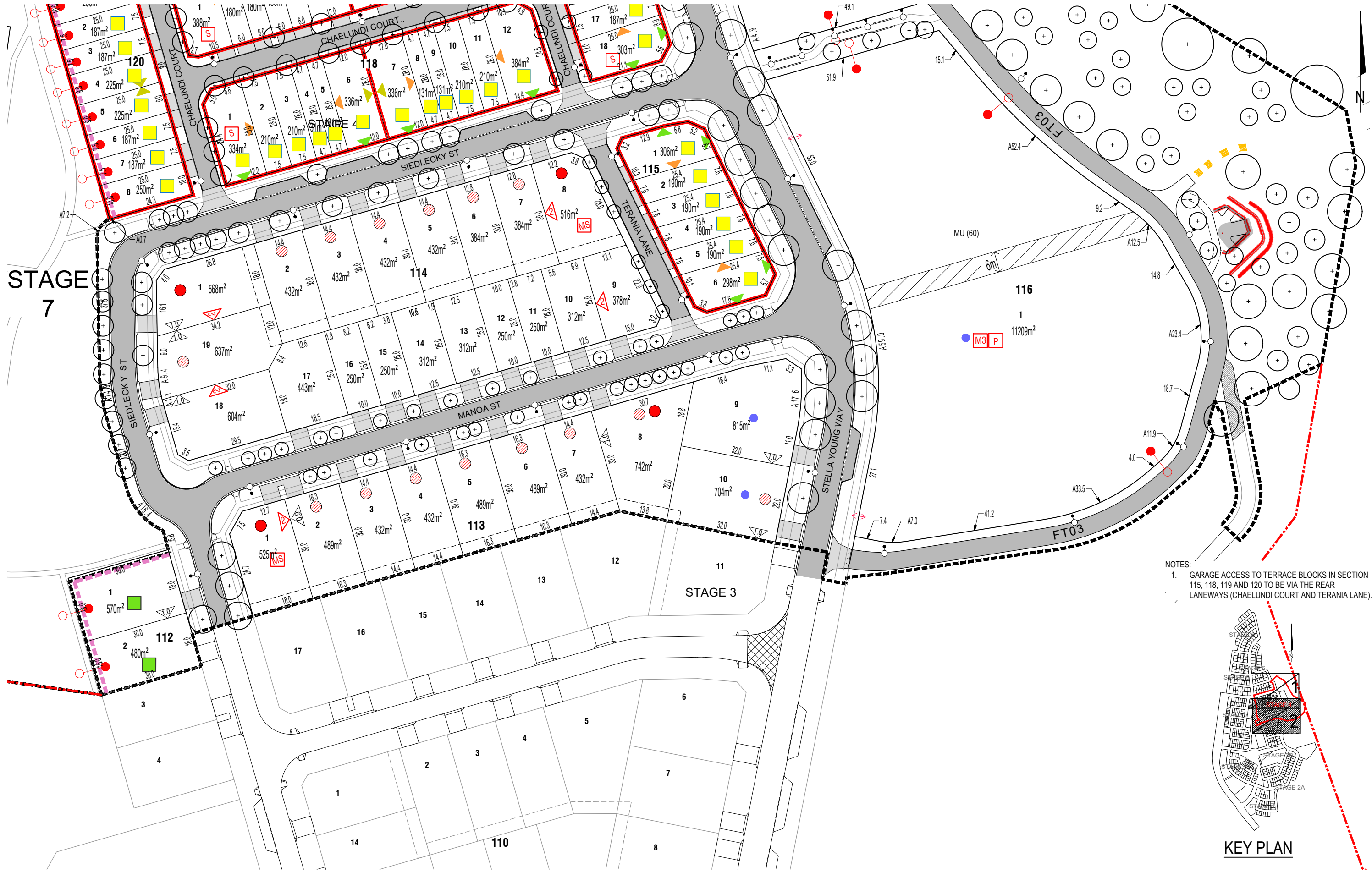
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DENMAN PROSPECT 2
STAGE 4
BLOCK DETAIL PLAN
SECTION 117 TO 120
ACT
CED

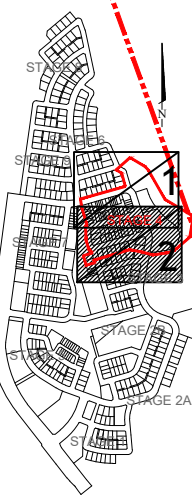
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- NOTES:
- GARAGE ACCESS TO TERRACE BLOCKS IN SECTION 115, 118, 119 AND 120 TO BE VIA THE REAR LANEWAYS (CHAELUNDI COURT AND TERANIA LANE).



KEY PLAN

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DENMAN PROSPECT 2
STAGE 4
BLOCK DETAIL PLAN
SECTION 112 TO 116
ACT
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