





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file location: G:\31\1065\03\BD-STAGE 5-40g Sales Plans\Stage 5 sales plan\block detail Plan plot date: 29/05/2025 2:10 PM Sheet # of # Sheets







LEGEND







| | |
|--|-------------------------|
| STAGE BOUNDARY | ■■■■■■■■■■ |
| BLOCK SECTION AND IDENTIFIER | 100 12 |
| BLOCK AREA / BOUNDARY LENGTH | 4,00m ² 4.54 |
| 3.5m COMBINED EASEMENT (Sewer and Stormwater) | ————— ----- |





MANDATORY SIDE BOUNDARY 2 GARAGE LOCATION




| | |
|--|---|
| MINIMUM 0.0m SETBACK - GARAGE/CARPORT ONLY - side boundary setbacks apply for a maximum wall length of 8m |  |
| MINIMUM 0.9m SETBACK - GARAGE/CARPORT ONLY - The maximum wall length of 8m |  |
| MINIMUM 1.0m SETBACK - GARAGE/CARPORT ONLY - The maximum wall length of 8m |  |
| MINIMUM 4.5m SETBACK - GARAGE ONLY |  |










BUILT FORM SETBACKS



| | |
|--|---|
| MINIMUM SETBACK 4m - ALL FLOORS |  |
| MINIMUM SETBACK 1.5m (UPPER FLOOR LEVEL ONLY) - side boundary setbacks apply to the upper floor level to the nominated boundary within the Primary Building Zone only - Unscreened element for upper floor walls at nominated setbacks apply as per the relevant Territory Plan code |  |
| MINIMUM 0.0m SETBACK - ALL FLOORS - Setbacks apply to all floor levels to the nominated boundary within the Primary Building Zone only - Unscreened element for walls at nominated setbacks apply as per the relevant Territory Plan code |  |
| MINIMUM 1.0m SETBACK - UPPER FLOOR LEVEL ONLY - Side boundary setbacks apply to the upper floor level to the nominated boundary within the Primary Building Zone only - Unscreened element for upper floor walls at nominated setbacks apply as per the relevant Territory Plan code |  |
| MINIMUM 1.5m SETBACK - ALL FLOORS - Side boundary setbacks apply to all floor levels to the nominated boundary within the Primary Building Zone only. - Unscreened element for upper floor walls at nominated setbacks apply as per the relevant Territory Plan code |  |
| MINIMUM 3.0m SETBACK - ALL FLOORS |  |



| | |
|------------------------------|---|
| MANDATORY MINIMUM 2 STOREYS |  |
| MANDATORY 3 STOREYS |  |
| MAXIMUM 2 STOREYS |  |
| MAXIMUM 3 STOREYS |  |
| MAXIMUM 4 STOREYS |  |
| MANDATORY SURVEILLANCE BLOCK |  |




| | |
|--|---|
| MANDATORY SIDE BOUNDARY 2 - REFER SINGLE DWELLING HOUSING DEVELOPMENT CODE |  |
| MID SIZED BLOCK (500m² - 549m²). R21 OF THE SINGLE DWELLING HOUSING DEVELOPMENT CODE APPLIES |  |
| VISITOR PARKING CONTROL - provide all visitor parking requirements as determined by the PARKING AND VEHICULAR ACCESS GENERAL CODE within the block |  |
| POTENTIALLY NOISE AFFECTED BLOCK |  |





| | |
|-------------------------------|---|
| NO BUILD ZONE |  |
| NO VEHICLE ACCESS PERMITTED |  |
| INTEGRATED DEVELOPMENT PARCEL |  |

| | |
|---|---|
| ALTERNATIVE PPOS DELIVERY PERMITTED -Principal Private Open Space permitted above the garage. All other PPOS requirements apply as per the relevant Territory Plan code |  |
| STREETLIGHT |  |
| STREET TREE |  |
| DRIVEWAY LOCATION (RESIDENTIAL) |  |
| HEAVY DUTY DRIVEWAY LOCATION |  |
| INDICATIVE MULTI UNIT DRIVEWAY LOCATION |  |
| INDICATIVE BUS STOP LOCATION |  |
| SUBSTATION |  |
| PATH (1.5 - 3.0m wide) |  |



| | |
|--|---|
| UTILITY MAINTENANCE ACCESS EASEMENT Block requires utility maintenance access easement. Maintenance and emergency access routes are required where sewerage mains are located on leased land and buyers must comply with the requirements of utility providers law. Contact Icon Water on (02) 62483111 or talktous@iconwater.com.au for further information. |  |
| BUILT FORM FEATURE Building feature to address the corner of the road and form a gateway feature into the Estate. |  |

| | |
|--|---|
| KEY LOCATION FOR COMMERCIAL USE Such as cafe adjacent to the central park. The total limit of commercial GFA is 600m2, and a Commercial GFA of Max. 200m2 per tenancy. |  |
| DOUBLE FRONTAGE BUILT FORM FEATURE Blocks nominated to provide building response to both front boundaries via provision of habitable rooms that overlook both front boundaries. |  |

| | |
|--|---|
| PEDESTRIAN ACCESS REQUIRED All front boundaries nominated must provide pedestrian access. Where multi unit site exceeds 10 dwellings multiple entries must be provided. |  |
| BAL 12.5 BUILDING STANDARD TO AS 3959-2009 |  |
| GARAGE OPENING CONTROL Garage opening may exceed 50% of building facade width. Upper Floor must provide building articulation. |  |

| | |
|--|---|
| WATER METER ENCLOSURE (2mx2m) OR WATER METER CABINET AS PER ICON WATER SD 3307-C |  |
| RETAINING WALL |  |
| RAISED PLATFORM |  |
| LIMITED DEVELOPMENT POTENTIAL |  |

FRONT FENCING AND COURTYARD CONTROLS

| | |
|---|---|
|  | For nominated blocks No fences permitted to nominated front boundary(s). Courtyard walls are permitted are to be: - Constructed only of brick, block or stonework, any of which may be combined with feature panels. - Maximum height of 1.8m. - Located on the block boundary or in a location setback from the block boundary as required to permit access by service authorities. |
|  | NO FENCING PERMITTED No fencing permitted to nominated front boundary. Landscape boundary treatment only. Where multi unit site fronts open space, landscape treatment is to provide a vehicular barrier. |

NOTES

1. BLOCK EASEMENTS, DIMENSIONS, AREAS AND NUMBERS ARE SUBJECT TO SURVEY. REFER TO DEPOSITED PLANS FOR CONFIRMATION OF DETAILS.
2. STREET TREES, STREET LIGHTS AND SUBSTATION LOCATIONS ARE INDICATIVE ONLY.
3. ALL DIMENSIONS ARE IN METRES



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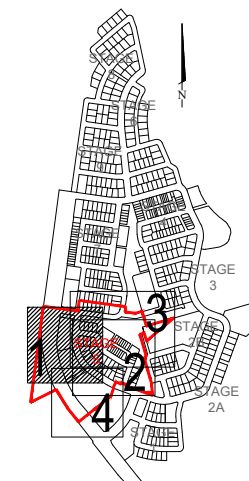
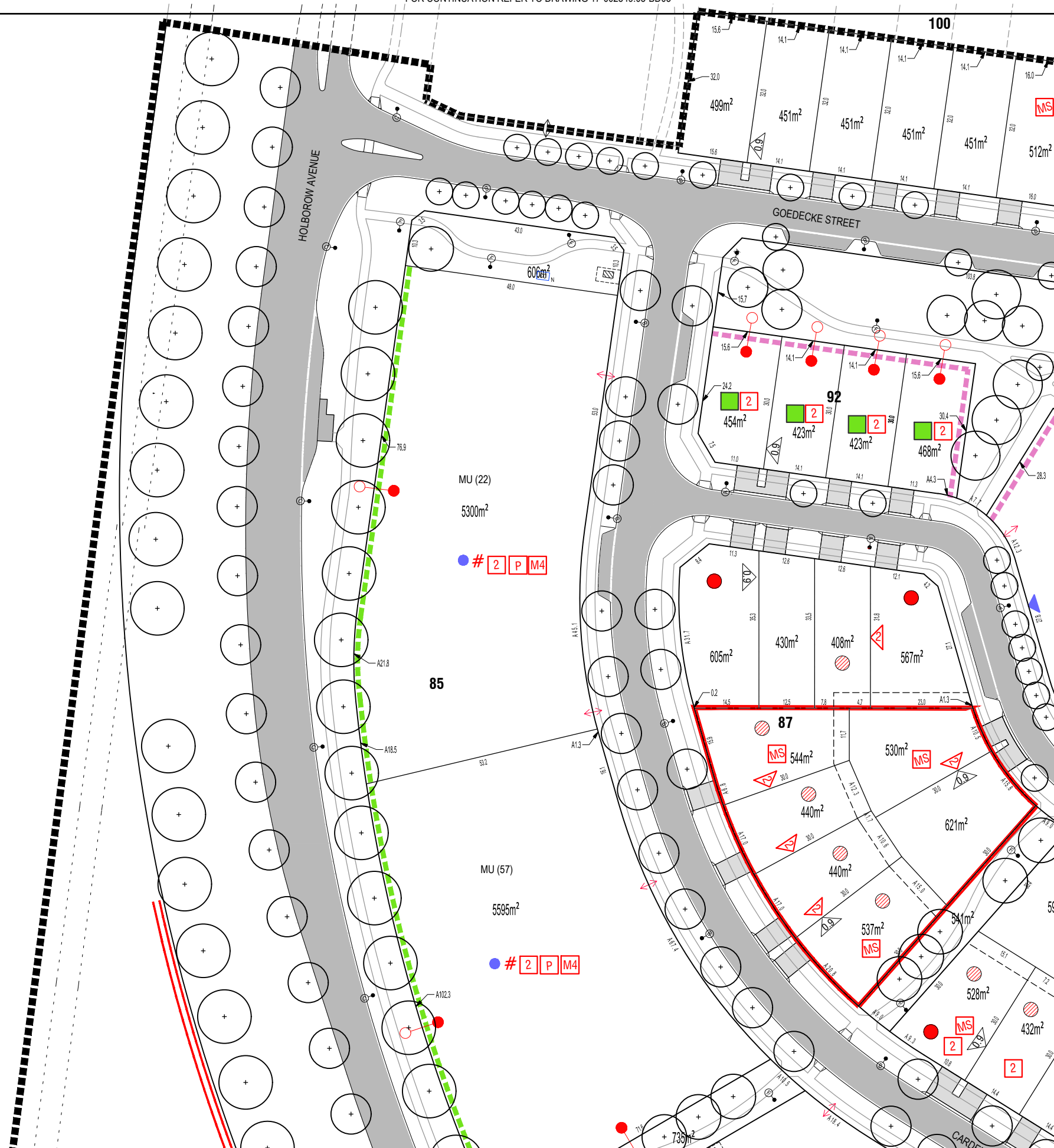
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DENMAN PROSPECT 2
STAGE 5
BLOCK DETAIL PLAN
LEGEND
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KEY PLAN

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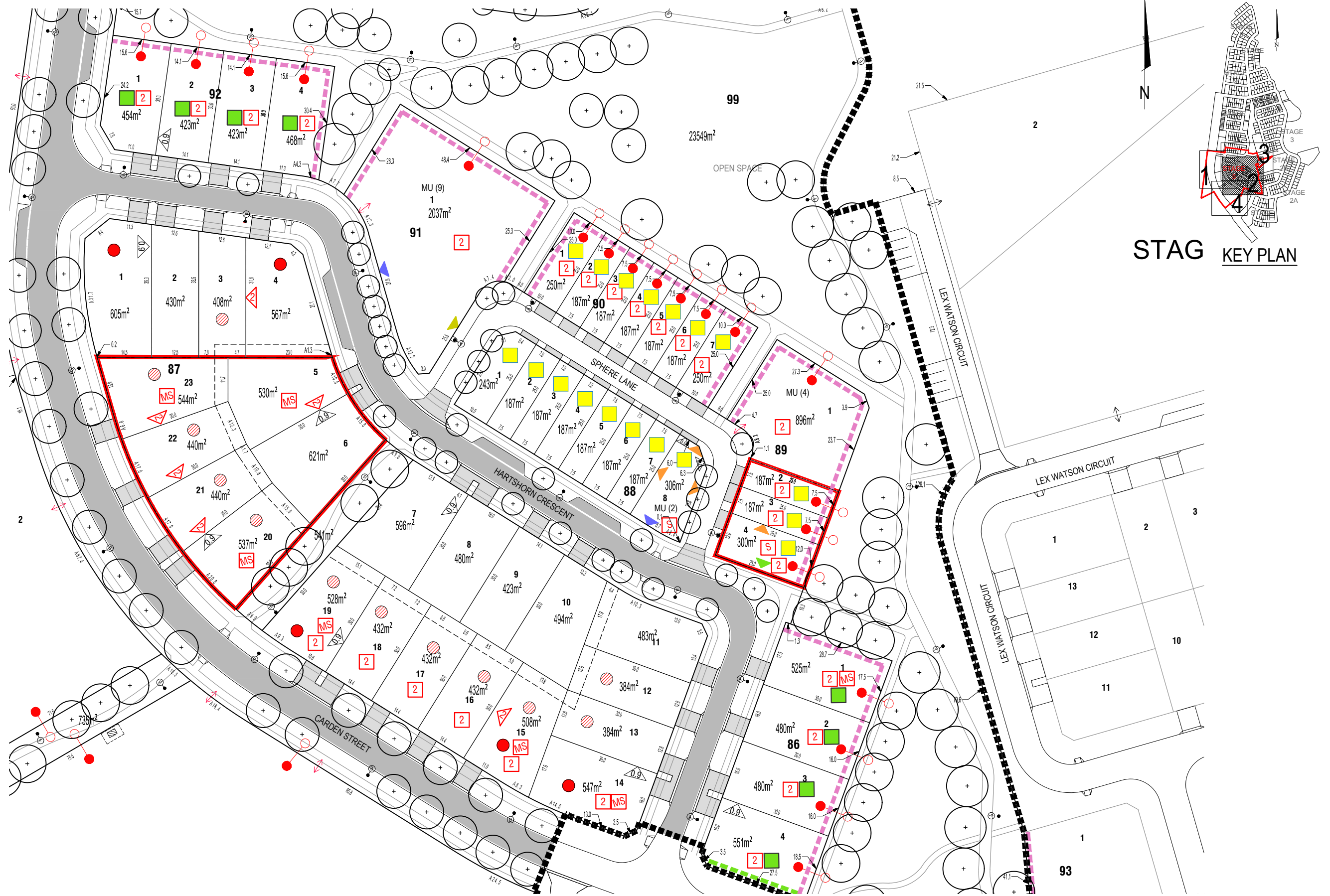


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DENMAN PROSPECT 2
STAGE 5
BLOCK DETAIL PLAN
SECTION 85, 87, 92
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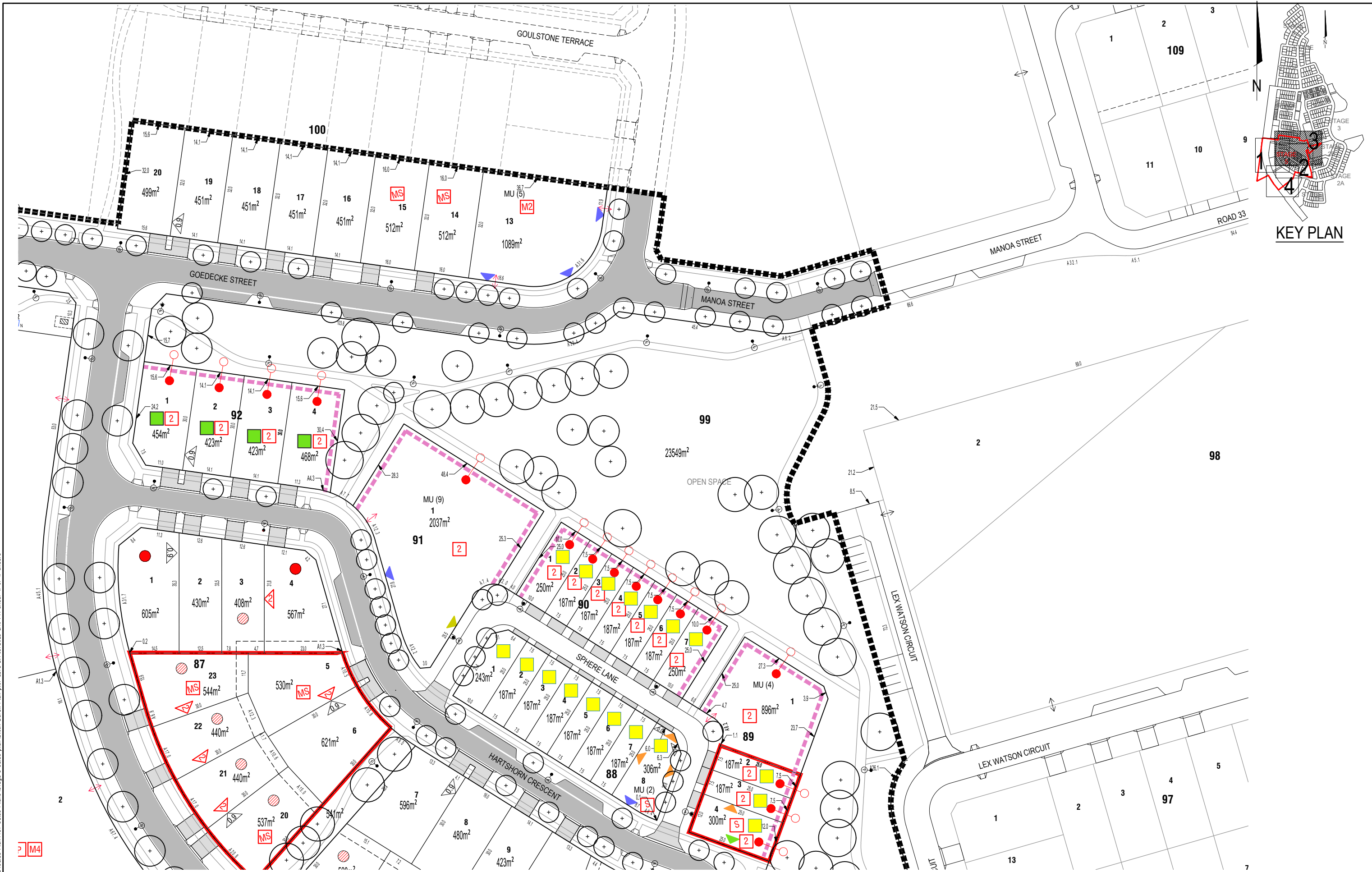
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DENMAN PROSPECT 2
STAGE 5
BLOCK DETAIL PLAN
SECTION 86 TO 92
ACT
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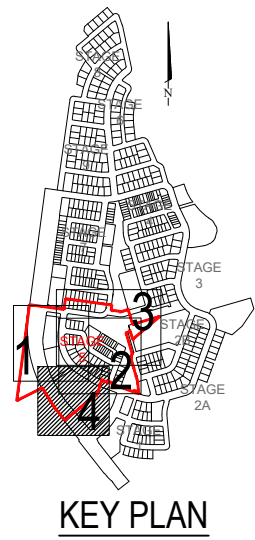
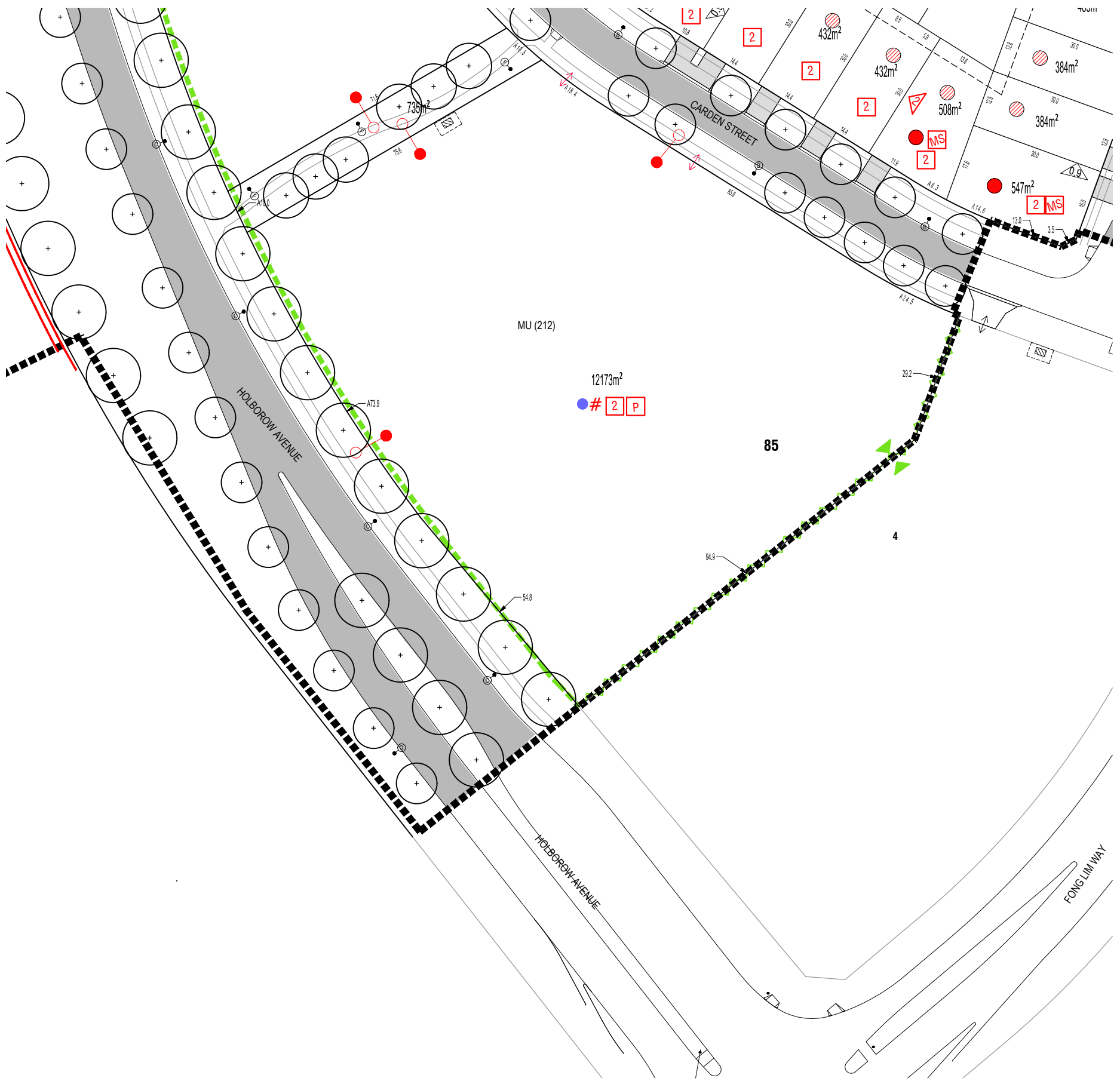
 

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DENMAN PROSPECT 2
STAGE 5
BLOCK DETAIL PLAN
SECTION 87 TO 92
ACT
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