

LEGEND

STAGE BOUNDARY	-----
BLOCK SECTION AND IDENTIFIER	<b>BA a</b>
BLOCK AREA / BOUNDARY LENGTH	400m <sup>2</sup> 4.54
3.5m COMBINED EASEMENT (Sewer and Stormwater)	-----
MANDATORY SIDE BOUNDARY 2 GARAGE LOCATION	
MINIMUM 0.0m SETBACK - GARAGE/CARPORT ONLY	
- Side boundary setbacks apply for a maximum wall length of 8m	
MINIMUM 0.9m SETBACK - GARAGE/CARPORT ONLY	
- The maximum wall length of 8m	
MINIMUM 1.0m SETBACK - GARAGE/CARPORT ONLY	
- The maximum wall length of 8m	
MINIMUM 4.5m SETBACK - GARAGE ONLY	
BUILT FORM SETBACKS	
MINIMUM SETBACK 4m - ALL FLOORS	
MINIMUM SETBACK 1.5m (UPPER FLOOR LEVEL ONLY)	
- Side boundary setbacks apply to the upper floor level to the nominated boundary within the Primary Building Zone only.	
- Unscreened element for upper floor walls at nominated setbacks apply as per the relevant Territory Plan code.	
MINIMUM 0.0m SETBACK - ALL FLOORS	
- Setbacks apply to all floor levels to the nominated boundary within the Primary Building Zone only.	
- Unscreened element for walls at nominated setbacks apply as per the relevant Territory Plan code.	
MINIMUM 1.0m SETBACK - UPPER FLOOR LEVEL ONLY	
- Side boundary setbacks apply to the upper floor level to the nominated boundary within the Primary Building Zone only.	
- Unscreened element for upper floor walls at nominated setbacks apply as per the relevant Territory Plan code.	
MINIMUM 1.5m SETBACK - ALL FLOORS	
- Side boundary setbacks apply to all floor levels to the nominated boundary within the Primary Building Zone only.	
- Unscreened element for upper floor walls at nominated setbacks apply as per the relevant Territory Plan code.	
MINIMUM 3.0m SETBACK - ALL FLOORS	
GENERAL CONTROLS	
LIMITED DEVELOPMENT OPPORTUNITY	
MANDATORY MINIMUM 2 STOREYS	
MANDATORY 3 STOREYS	
MAXIMUM 2 STOREYS	
MAXIMUM 3 STOREYS	
MAXIMUM 4 STOREYS	
MANDATORY SURVEILLANCE BLOCK	

LEGEND

MANDATORY SIDE BOUNDARY 2 - REFER SINGLE DWELLING HOUSING DEVELOPMENT CODE	
BLOCKS OF 500-550m <sup>2</sup> SUBJECT TO MIDSIZE BLOCK PROVISIONS	
VISITOR PARKING CONTROL - provide all visitor parking requirements as determined by the PARKING AND VEHICULAR ACCESS GENERAL CODE within the block	
POTENTIALLY NOISE AFFECTED BLOCK	
NO BUILD ZONE	
NO VEHICLE ACCESS PERMITTED	
INTEGRATED DEVELOPMENT PARCEL	
ALTERNATIVE PPOS DELIVERY PERMITTED - Principal Private Open Space permitted above garage. All other PPOS requirements apply as per the relevant Territory Plan code	
STREETLIGHT	
STREET TREE	
DRIVEWAY LOCATION (RESIDENTIAL)	
HEAVY DUTY DRIVEWAY LOCATION	
INDICATIVE MULTI UNIT DRIVEWAY LOCATION	
INDICATIVE BUS STOP LOCATION	
SUBSTATION	
PATH (1.5 - 3.0 wide)	
UTILITY MAINTENANCE ACCESS EASEMENT Block requires utility maintenance access easement. Maintenance and emergency access routes are required where sewerage mains are located on leased land and buyers must comply with the requirements of utility providers law. Contact icon water on (02) 62483111 or talktous@iconwater.com.au for further information.	
BUILT FORM FEATURE Building feature to address the corner of the road and form a gateway feature into the Estate.	
KEY LOCATION FOR COMMERCIAL USE Such as cafe adjacent to the central park. The total limit of commercial GFA is 600m2, and a Commercial GFA of Max. 200m2 per tenancy.	
DOUBLE FRONTAGE BUILT FORM FEATURE Blocks nominated to provide building response to both front boundaries via provision of habitable rooms that overlook both front boundaries.	
BAL 12.5 BUILDING STANDARD TO AS 3959-2009	
GARAGE OPENING CONTROL Garage opening may exceed 50% of building facade width. Upper Floor must provide building articulation.	
WATER SERVICE Must come from fire trail side of block. Block address to be provided at front and rear of dwelling.	

RETAINING WALL

RAISED PLATFORM

WATER METER ENCLOSURE (2mx2m) OR WATER METER CABINET AS PER ICON WATER SD 3307-C

LEGEND

FRONT FENCING AND COURTYARD CONTROLS	
FRONT FENCES AND COURTYARD WALLS for nominated blocks addressing Urban Open Spaces	
No fences permitted to nominated front boundary(s). Courtyard walls are permitted forward of the building zone and are to be:	
- Constructed only of brick, block or stonework, any of which may be combined with feature panels.	
- Maximum height of 1.8m.	
- Located on the block boundary or in a location setback from the block boundary as required to permit access by service authorities	
NO FENCING PERMITTED	
No fencing permitted to nominated front boundary. Landscape boundary treatment only. Where multi unit site fronts open space, landscape treatment is to provide vehicula barrier.	
COMMUNITY GARDEN FENCE	
Pool type fence with rabbit proof chain link fence inlay. Maximum 1.5m height	

NOTES

1. BLOCK EASEMENTS, DIMENSIONS, AREAS AND NUMBERS ARE SUBJECT TO SURVEY. REFER TO DEPOSITED PLANS FOR CONFIRMATION OF DETAILS.
2. STREET TREES, STREET LIGHTS AND SUBSTATION LOCATIONS ARE INDICATIVE ONLY.
3. ALL DIMENSIONS ARE IN METRES.

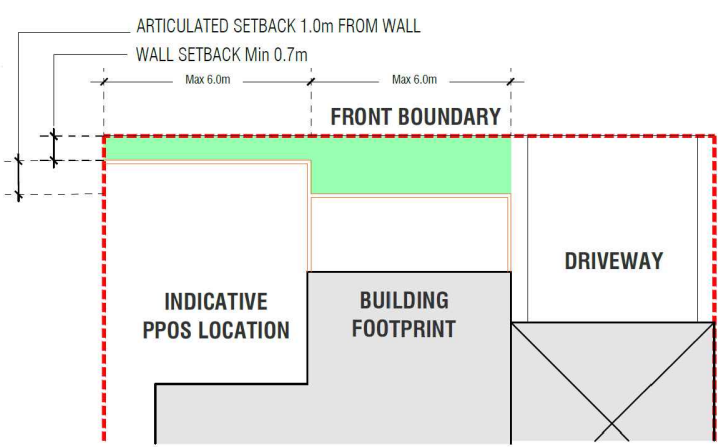


FIGURE 1. EXAMPLE - COURTYARD WALL, SHOWING ARTICULATED PLANTING ZONE SETBACK

PLANTING ZONE

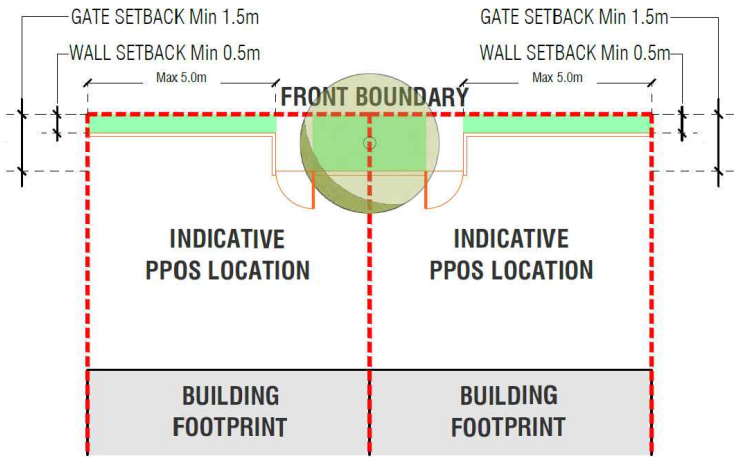


FIGURE 2. EXAMPLE - COURTYARD WALL LOCATION, SHOWING A TERRACE HOME FRONTING URBAN OPEN SPACE, WITH AN INCREASED SETBACK FOR A GATE ENTRY.

PLANTING ZONE TREE PLANTING GATE

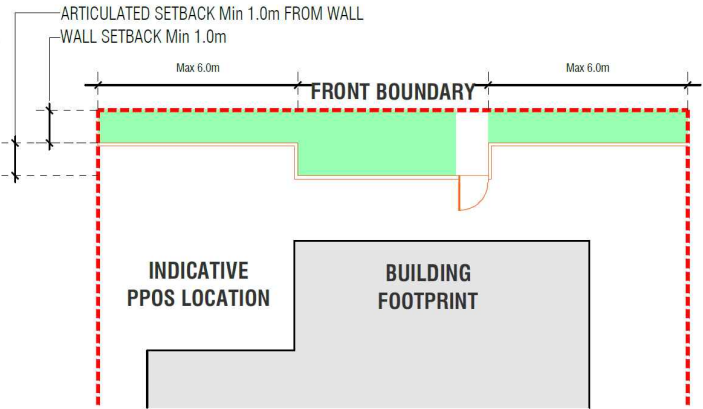


FIGURE 3. EXAMPLE - COURTYARD WALL, SHOWING A HOME FRONTING OPEN SPACE, WITH AN ARTICULATED GATE ENTRY AND PLANTING ZONE.

PLANTING ZONE GATE

file name: 309153CS001.dwg, layout name: CS000, plotted by: Kate Robinson, file location: G:\309308664\City\ACAD\sales plans\Stage 3\plot date: 23/01/2025 3:32 PM, Sheet 1 of 3 Sheets

C	WORKS AS EXECUTED	C.J.C	29-01-25
B	BLOCK NUMBERS ADJUSTED	C.J.C	20-04-22
A	ISSUED TO CLIENT	BC	22-06-21
Rev	Amendments	Approved	Date

1:500@ A1  
SCALE  
1:1000@ A3



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**CAPITAL ESTATE**  
DEVELOPMENTS

Designed  
**L.O'REILLY**  
Authorised  
**B.CARGILL**

**Denman**  
Prospect

Checked  
**B.CARGILL**  
Date  
22-06-2021

**DENMAN PROSPECT 2**  
**STAGES 3**  
**BLOCK DETAIL PLAN**  
**LEGEND**

ACT  
CED

Drg No  
**309153CS000**

Rev  
**C**



NOTES:

1. REFER TO DRAWING 309513CS000 FOR LEGEND.

E	WORKS AS EXECUTED	C.J.C	29-01-25
D	SEWER MAINTENANCE ACCESS SYMBOLS ADDED	C.J.C	30-10-2023
C	BAL UPDATED	C.J.C	28-04-22
B	BLOCK NUMBERS ADJUSTED	C.J.C	20-04-22
A	ISSUED TO CLIENT	BC	22-06-21
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Designed  
**L.O'REILLY**  
Authorised  
**B.CARGILL**



Checked  
B.CARGILL  
Date  
22-06-2021

**DENMAN PROSPECT 2**  
**STAGES 3**  
**BLOCK DETAIL PLAN**  
**STAGE 3 - SECTION X, Y, AC, AD, AE**  
ACT  
CED

Drg No  
**309153CS001**