

Artist's impression. Image is indicative only.



# Cravens Vista

**A new release of residential blocks is for sale by expression of interest in Cravens Vista, Stromlo Reach. This is the first land release in Denman Prospect's newest stage.**

Tucked away near local parklands, Cravens Vista offers stunning, elevated views of Canberra, and effortless access to local shops, schools and parks.

Cravens Vista is located just minutes from the Denman Village precinct which features a playground, supermarket, GP, dentist, cafe and community centre.

With a range of block sizes available, you'll have the freedom to design a haven that reflects your unique vision. Embrace a lifestyle that blends the tranquility of nature with the convenience of modern living.

Blocks are anticipated to be build ready in late 2026.

**Learn more about Stromlo Reach**



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## How to buy in the Cravens Vista Land Release

### ➤ Research and speak with the Denman Prospect sales team

#### Research

To learn detailed information on each block and the contract, carefully read the documents including the Contract for Sale, Block Details, Contour Plans and Sales Conditions available on our [website](#).

#### Speak with the Denman Prospect sales team

Arrange a time to meet with our sales team to discuss the blocks for sale, the purchasing process, and to ask any questions you may have. Arrange a time by emailing [sales@denmanprospect.com.au](mailto:sales@denmanprospect.com.au)

We strongly recommend you speak with our sales team before completing your expression of interest as this may affect your block selection based on your living requirements. **We are not qualified to provide legal or financial advice and recommend you seek independent legal advice before exchanging contracts.**

### ➤ Submit an expression of interest (EOI) from Friday, 27 February 2026

#### Submit your expression of interest

Expressions of interest open from 10am Friday 27 February 2026 and close 2pm, Monday 16 March 2026. You must submit an expression of interest using the online EOI form. You'll be required to provide your block preferences, purchaser details and solicitor details.

You must specify a minimum of one (1) and a maximum of five (5) block preferences. Your order of preference will determine how your EOI submission is assessed. If you're only interested in one block, please don't show additional preferences.

Please take care when completing your submission by ensuring all information provided is accurate. The details you provide will be used for the contract for sale if you're successful.

### ➤ Appointment allocation

Block selection appointments will be allocated based on your block preferences.

If your EOI is successful you will be notified by 5pm on Wednesday 18 March 2026 of your block selection and your contract exchange appointment. You must accept your appointment and pay a \$1,000 holding deposit by 12pm Friday 20 March 2026.

The holding deposit can be made by electronic to transfer to the following account:

**Terracon Legal Pty Ltd Law Practice Trust Account**  
**Commonwealth Bank of Australia**  
**BSB: 062 900**  
**Account: 1110 7872**

When making your deposit, please make sure to reference the block number, block section and your name.

At this point we'll also request some information from you so that the contract for sale can be prepared for your appointment. Appointments will be held Thursday 26 March and Friday 27 March 2026.

### ➤ Contract exchange appointment

#### Exchanging contracts

You'll be required to exchange contracts in person (or appoint an agent to act on your behalf) at the Denman Prospect Sales Suite during your contract exchange appointment.

Everyone who will be listed on the Contract needs to attend the appointment and bring photo identification and proof of their current address.

If you are purchasing as a Company, a minimum of two Directors must sign the contract unless you are a sole trader.

If you are unable to attend your appointment you can appoint someone to act on your behalf by completing an Appointment of Agent form. The person acting on your behalf will need to bring the completed form, a copy of your photo identification and their own photo identification with them to the appointment.

You must pay 5% of the block purchase price (minus the \$1,000 holding deposit) at the time of exchange. This can be paid by electronic transfer or bank cheque. Bank cheques must be made out to Terracon Legal Pty Ltd Law Practice Trust Account. Credit cards, cash and personal cheques will not be accepted. A copy of the executed contract will be sent to your solicitor after your appointment.

#### Settlement

Settlement is anticipated from late 2026. We will provide regular updates during the civil construction and when settlement is likely to occur. The balance of the purchase price is payable at Settlement.

Disclaimer: all care has been taken for errors or omissions, details may be subject to change without notice. Intending purchasers should not rely on statements or representations in this document and are advised to make their own enquiries to satisfy themselves in all respects. Capital Estate Developments will not be responsible for any loss or damage that may be incurred as a result of your reliance upon these documents. Maps are indicative only and are not to scale.

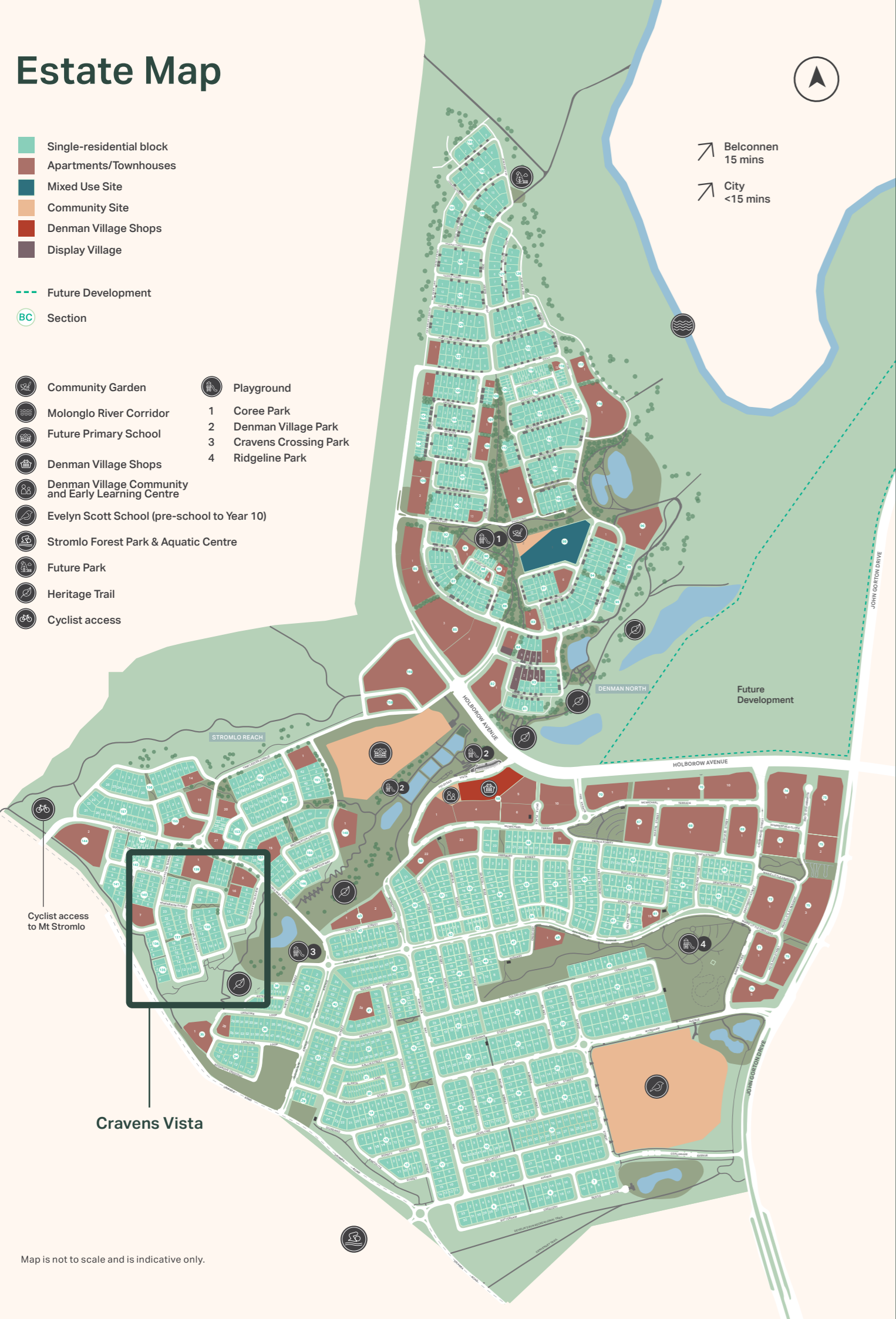


# Cravens Vista Stromlo Reach



# Estate Map

- Single-residential block
  - Apartments/Townhouses
  - Mixed Use Site
  - Community Site
  - Denman Village Shops
  - Display Village
  - - - Future Development
  - BC Section
- 
- Community Garden
  - Playground
  - Molonglo River Corridor
  - 1 Coree Park
  - Future Primary School
  - 2 Denman Village Park
  - Denman Village Shops
  - 3 Cravens Crossing Park
  - Denman Village Community and Early Learning Centre
  - 4 Ridgeline Park
  - Evelyn Scott School (pre-school to Year 10)
  - Stromlo Forest Park & Aquatic Centre
  - Future Park
  - Heritage Trail
  - Cyclist access



Map is not to scale and is indicative only.

# Price List

Block	Section	Block Size (m <sup>2</sup> )	Price
4	135	544	\$ 930,000
1	136	508	\$ 910,000
2	136	400	\$ 715,000
3	136	464	\$ 850,000
4	136	400	\$ 715,000
5	136	495	\$ 910,000
2	137	398	\$ 685,000
3	137	379	\$ 675,000
8	137	480	\$ 795,000
10	137	540	\$ 940,000
12	137	464	\$ 850,000
16	137	409	\$ 710,000
18	137	447	\$ 765,000
1	138	416	\$ 700,000
2	138	532	\$ 880,000
4	138	496	\$ 850,000
5	138	540	\$ 890,000
8	138	491	\$ 890,000
9	138	375	\$ 670,000
10	138	434	\$ 780,000
11	138	555	\$ 950,000
17	138	526	\$ 880,000
7	139	435	\$ 760,000
8	139	480	\$ 810,000
11	139	863	\$1,450,000
14	139	473	\$ 775,000
23	139	375	\$ 620,000
24	139	435	\$ 720,000

Anticipated settlement is late 2026.

Disclaimer: Whilst all care has been taken for errors or omissions, details may be subject to change without notice. Certain elements within this brochure were produced prior to design, construction or completion of parts of Denman Prospect. The information contained in this brochure is preliminary and subject to change without notice. Any dimensions and areas shown are approximate and, in some instances, subject to survey completion. Prospective buyers are advised that they must rely on their own enquiries and should seek further information and obtain appropriate expert advice. Elements of artwork, plans and images are indicative only, and are not to be relied upon as a definitive reference. Capital Property Group, Capital Airport Group Pty Ltd, and Capital Estate Developments will not be responsible for any loss or damage that may be incurred as a result of your reliance upon these documents.

# Block map

- Multi-unit site
  - Block for sale
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- 1 Sculpture Eclipse by Michael Snape
  - 2 Cravens Crossing Pond
  - 3 Cravens Crossing Park
  - 4 Future extension of Cravens Crossing Park and Cravens Creek Cultural Trail

