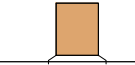


LEGEND



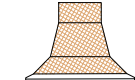
STAGE BOUNDARY



5.0m WIDE DRIVEWAY



HD2
HEAVY DUTY DRIVEWAY



MU DRIVEWAY INDICATIVE LOCATION

143

SECTION IDENTIFIER

1

BLOCK IDENTIFIER

512m²

BLOCK AREA

25.0

BLOCK DIMENSIONS



INDICATIVE TREE LOCATION



COMBINED SERVICE EASEMENT 3.5m WIDE



SUBSTATION



ELECTRICAL STREET LIGHT POLE



COMBINED SERVICE EASEMENT 2.5m WIDE



MINIMUM 0.0m SETBACK - ALL FLOORS

- SETBACKS APPLY TO ALL FLOOR LEVELS TO THE NOMINATED BOUNDARY WITHIN THE PRIMARY BUILDING ZONE ONLY
- UNSCREENED ELEMENT FOR WALLS AT NOMINATED SETBACKS APPLY AS PER THE RELEVANT TERRITORY CODE



MINIMUM 1.5m SETBACK - ALL FLOORS

- SIDE BOUNDARY SETBACKS APPLY TO ALL FLOORS LEVELS TO THE NOMINATED BOUNDARY WITHIN THE PRIMARY BUILDING ZONE ONLY
- UNSCREENED ELEMENT FOR UPPER FLOOR WALLS AT NOMINATED SETBACKS APPLY AS PER THE RELEVANT TERRITORY PLAN CODE



MINIMUM 1.5m SETBACK - UPPER FLOOR LEVEL ONLY

- SIDE BOUNDARY SETBACKS APPLY TO UPPER FLOORS LEVEL TO THE NOMINATED BOUNDARY WITHIN THE PRIMARY BUILDING ZONE ONLY
- UNSCREENED ELEMENT FOR UPPER FLOOR WALLS AT NOMINATED SETBACKS APPLY AS PER THE RELEVANT TERRITORY PLAN CODE



MINIMUM 2.0m SETBACK - ALL FLOORS

- SIDE BOUNDARY SETBACKS APPLY TO ALL FLOOR LEVELS WITHIN THE PRIMARY AND REAR BUILDING ZONE
- UNSCREENED ELEMENT FOR WALLS AT NOMINATED SETBACKS APPLY AS PER THE RELEVANT TERRITORY CODE



MINIMUM 3.0m SETBACK - ALL FLOORS

- FRONT, REAR BOUNDARY AND SIDE BOUNDARY SETBACKS APPLY TO ALL FLOOR LEVELS WITHIN THE PRIMARY AND REAR BUILDING ZONE
- UNSCREENED ELEMENT FOR WALLS AT NOMINATED SETBACKS APPLY AS PER THE RELEVANT TERRITORY CODE



MINIMUM 1.0m SETBACK - GARAGE / CARPORT ONLY

- THE MAXIMUM WALL LENGTH OF 8m



MINIMUM 2.0m SETBACK - GARAGE / CARPORT ONLY

- THE MAXIMUM WALL LENGTH OF 8m



LIMITED DEVELOPMENT OPPORTUNITY



MANDATORY MINIMUM 2 STOREYS



MANDATORY SURVEILLANCE BLOCK



MANDATORY SIDE BOUNDARY 2



BLOCKS SUBJECT TO MIDSIZE BLOCK PROVISIONS



POTENTIALLY NOISE AFFECTED BLOCK



MIN. 6m SETBACK NO BUILD ZONE, LANDSCAPE ZONE



PEDESTRIAN ACCESS REQUIRED

ALL FRONT BOUNDARIES NOMINATED MUST PROVIDE PEDESTRIAN ACCESS. WHERE MULTI UNIT SITE EXCEEDS 10 DWELLINGS MULTIPLE ENTRIES MUST BE PROVIDED.



BAL 12.5 BUILDING STANDARD



DOUBLE FRONTAGE BUILT FROM FEATURE BLOCKS NOMINATED TO PROVIDE BUILDING RESPONSE TO BOTH FRONT BOUNDARIES VIA PROVISION OF HABITABLE ROOMS THAT OVERLOOK BOTH FRONT BOUNDARIES.



NO VEHICLES ACCESS PERMITTED



TIMBER FENCE BY DEVELOPER



COURTYARD WALL BY DEVELOPER



FOR NOMINATED BLOCKS

NO FENCES PERMITTED TO NOMINATED FRONT BOUNDARY(S). COURTYARD WALLS ARE PERMITTED AND ARE TO BE:

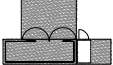
- CONSTRUCTED ONLY OF BRICK, BLOCK OR STONEWORK, ANY OF WHICH MAY BE COMBINED WITH FEATURE PANELS.
- MAXIMUM HEIGHT OF 1.8M.
- LOCATED ON THE BLOCK BOUNDARY OR IN A LOCATION SETBACK FROM THE BLOCK BOUNDARY AS REQUIRED TO PERMIT ACCESS BY SERVICE AUTHORITIES



NO FRONT FENCING PERMITTED

NO FENCING PERMITTED TO NOMINATED FRONT BOUNDARY. LANDSCAPE BOUNDARY TREATMENT ONLY

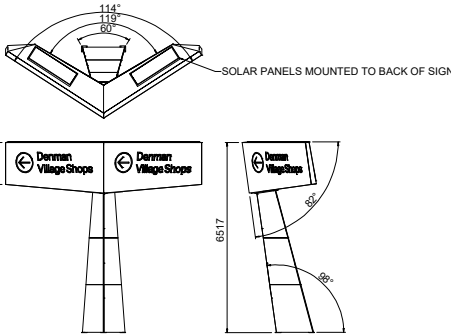
WHERE MULTI-UNIT SITE FRONTS OPEN SPACE, LANDSCAPE TREATMENT IS TO PROVIDE VEHICLE BARRIER



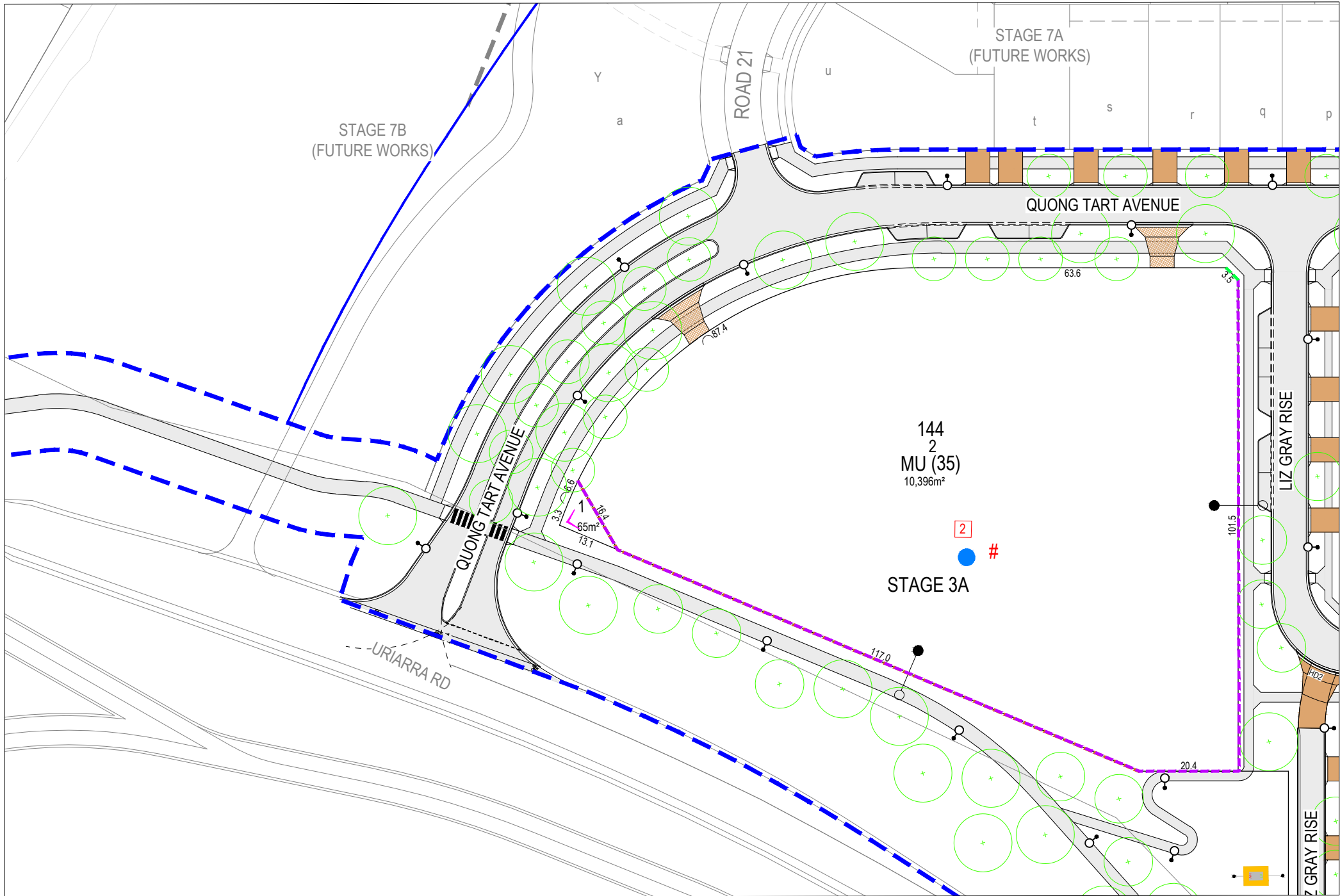
DISTRICT WATER METER

NOTES

1. BLOCK EASEMENTS, DIMENSIONS, AREAS AND NUMBERS ARE SUBJECT TO SURVEY, REFER TO DEPOSITED PLANS FOR CONFIRMATION OF DETAILS.
2. STREET TREES, STREET LIGHTS AND SUBSTATION LOCATIONS ARE INDICATIVE ONLY.
3. ALL DIMENSIONS ARE IN METRES.



PYLON SIGN



ISSUE	REASON FOR ISSUE	DATE	DESIGN	DRAWN	CHECKED	APPROVED FOR ISSUE
A	FOR INFORMATION	21.08.2024	ML	AA	NA	GZ
B	FOR INFORMATION	07.07.2025	ML	AA	NA	GZ
C	FOR INFORMATION	04.08.2025	ML	AA	NA	GZ
D	FOR INFORMATION	03.12.2025	ML	AA	NA	GZ

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CLIENT



PROJECT
STROMLO REACH
STAGE 3A

DRAWING
BLOCK DETAIL PLAN
SHEET 2

PROJECT No
304001149

DRAWING No

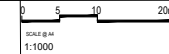
BLOCK DETAIL PLAN 01

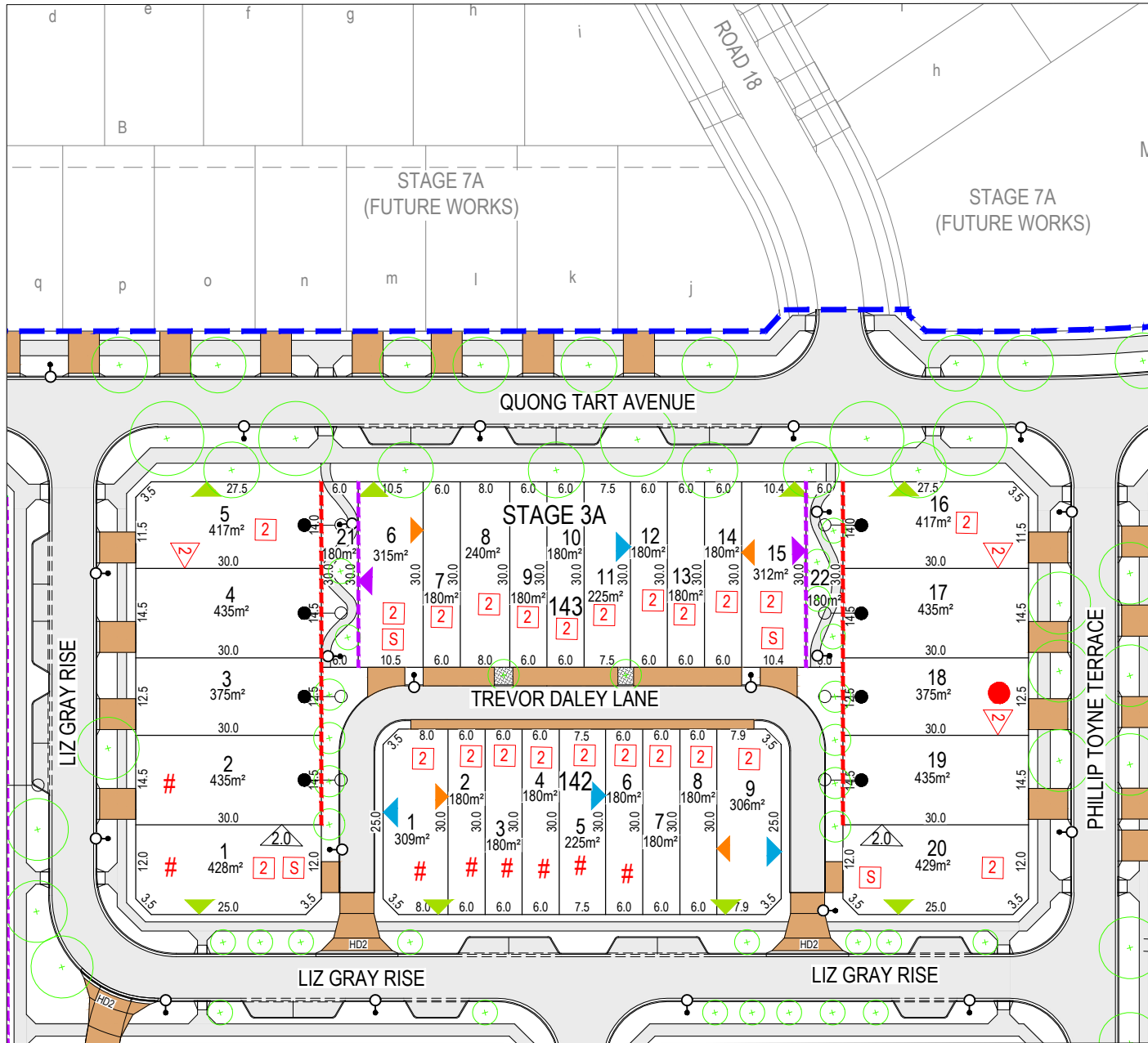
ISSUE

Info

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ISSUE	REASON FOR ISSUE	DATE	DESIGN	DRAWN	CHECKED	APPROVED FOR ISSUE
A	FOR INFORMATION	21.08.2024	ML	AA	NA	GZ
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PROJECT
**STROMLO REACH
STAGE 3A**

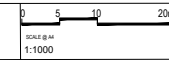
DRAWING
**BLOCK DETAIL PLAN
SHEET 3**

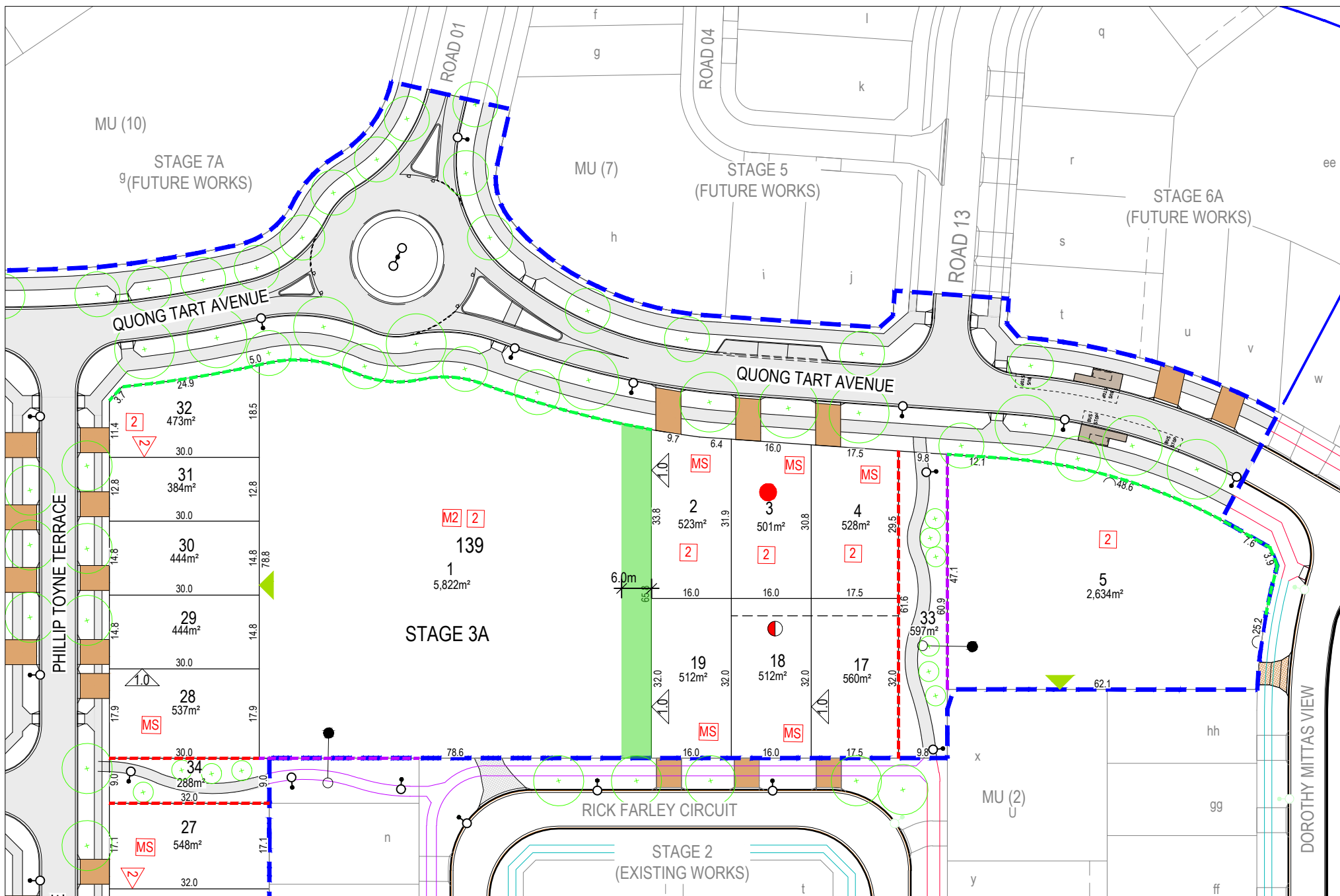
PROJECT No
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DRAWING No
BLOCK DETAIL PLAN 02

ISSUE
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PROJECT
STROMLO REACH
STAGE 3A

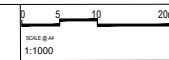
DRAWING
BLOCK DETAIL PLAN
SHEET 4

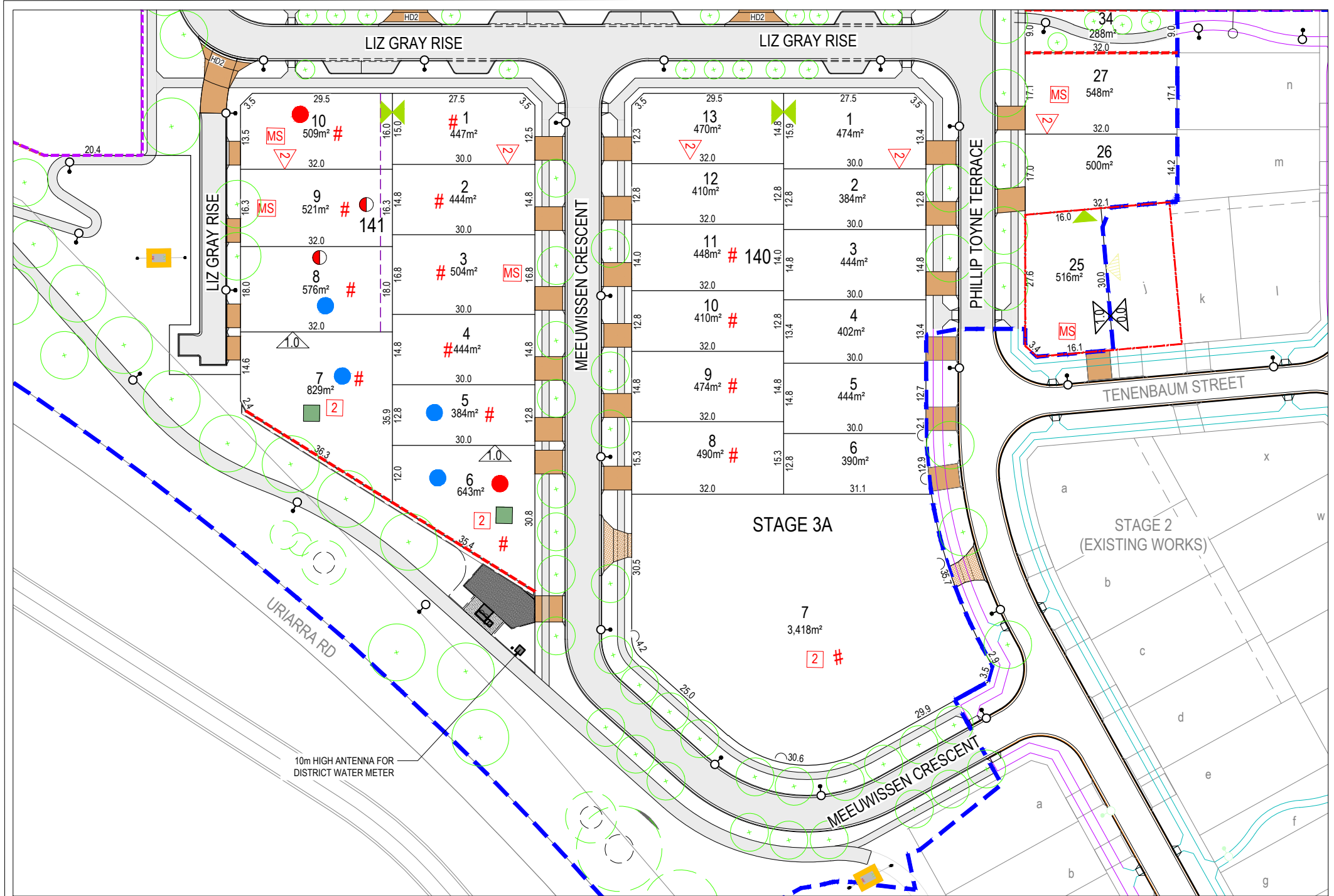
PROJECT No
304001149

DRAWING No
BLOCK DETAIL PLAN 03

ISSUE
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C	FOR INFORMATION	04.08.2025	ML	AA	NA	GZ
D	FOR INFORMATION	31.12.2025	ML	AA	NA	GZ

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PROJECT
**STROMLO REACH
STAGE 3A**

DRAWING
**BLOCK DETAIL PLAN
SHEET 5**

PROJECT No
304001149

DRAWING No
BLOCK DETAIL PLAN 04

ISSUE
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